



State of West Virginia
Department of Administration
Purchasing Division
2019 Washington Street East
Post Office Box 50130
Charleston, WV 25305-0130

Request for Quotation

RFQ NUMBER

DNRB12095

PAGE

1

ADDRESS CORRESPONDENCE TO ATTENTION OF:

FRANK WHITTAKER
304-558-2316

RFQ COPY

TYPE NAME/ADDRESS HERE

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DIVISION OF NATURAL RESOURCES
PARKS & RECREATION SECTION

324 4TH AVENUE
SOUTH CHARLESTON, WV
25303-1228 304-558-3397

DATE PRINTED	TERMS OF SALE	SHIP VIA	F.O.B.	FREIGHT TERMS		
01/19/2012						
BID OPENING DATE: 02/09/2012		BID OPENING TIME 01:30PM				
LINE	QUANTITY	UOP	CAT. NO.	ITEM NUMBER	UNIT PRICE	AMOUNT
ADDENDUM NO. 1						
THIS ADDENDUM IS ISSUED TO:						
1.) PROVIDE ADDITIONS TO THE BIDDING DOCUMENTS,						
2.) PROVIDE A COPY OF THE MANDATORY PRE-BID ATTENDEE LIST,						
3.) PROVIDE ANSWERS TO TECHNICAL QUESTIONS						
4.) PROVIDE REVISED DRAWINGS						
**REVISED DRAWINGS ARE AVAILABLE BY VISITING						
HTTP://WWW.FILESANYWHERE.COM/FS/V.ASPX?V=8A6E67895E6474						
A970A0. THEY ARE NOT CONTAINED IN HARD COPY FORMAT						
IN THIS DOCUMENT.						
5.) EXTEND THE DEADLINE FOR TECHNICAL QUESTIONS TO						
01/26/2012 AT THE CLOSE OF BUSINESS. TECHNICAL						
QUESTION SUBMISSION MUST BE IN ACCORDANCE WITH THE						
PROVISIONS FOR TECHNICAL QUESTIONS IN THE ORIGINAL						
REQUEST FOR QUOTATION (DNRB12095),						
6.) EXTEND THE BID OPENING DATE						
BID OPENING DATE IS EXTENDED TO: 02/09/2012						
BID OPENING TIME REMAINS: 1:30 PM						
***** END ADDENDUM NO. 1 *****						
SEE REVERSE SIDE FOR TERMS AND CONDITIONS						
SIGNATURE			TELEPHONE		DATE	
TITLE			FEIN		ADDRESS CHANGES TO BE NOTED ABOVE	

WHEN RESPONDING TO RFQ, INSERT NAME AND ADDRESS IN SPACE ABOVE LABELED 'VENDOR'

GENERAL TERMS & CONDITIONS REQUEST FOR QUOTATION (RFQ) AND REQUEST FOR PROPOSAL (RFP)

1. Awards will be made in the best interest of the State of West Virginia.
 2. The State may accept or reject in part, or in whole, any bid.
 3. Prior to any award, the apparent successful vendor must be properly registered with the Purchasing Division and have paid the required \$125 fee.
 4. All services performed or goods delivered under State Purchase Order/Contracts are to be continued for the term of the Purchase Order/Contracts, contingent upon funds being appropriated by the Legislature or otherwise being made available. In the event funds are not appropriated or otherwise available for these services or goods this Purchase Order/Contract becomes void and of no effect after June 30.
 5. Payment may only be made after the delivery and acceptance of goods or services.
 6. Interest may be paid for late payment in accordance with the *West Virginia Code*.
 7. Vendor preference will be granted upon written request in accordance with the *West Virginia Code*.
 8. The State of West Virginia is exempt from federal and state taxes and will not pay or reimburse such taxes.
 9. The Director of Purchasing may cancel any Purchase Order/Contract upon 30 days written notice to the seller.
 10. The laws of the State of West Virginia and the *Legislative Rules* of the Purchasing Division shall govern the purchasing process.
 11. Any reference to automatic renewal is hereby deleted. The Contract may be renewed only upon mutual written agreement of the parties.
 12. **BANKRUPTCY:** In the event the vendor/contractor files for bankruptcy protection, the State may deem this contract null and void, and terminate such contract without further order.
 13. **HIPAA BUSINESS ASSOCIATE ADDENDUM:** The West Virginia State Government HIPAA Business Associate Addendum (BAA), approved by the Attorney General, is available online at www.state.wv.us/admin/purchase/vrc/hipaa.html and is hereby made part of the agreement provided that the Agency meets the definition of a Cover Entity (45 CFR §160.103) and will be disclosing Protected Health Information (45 CFR §160.103) to the vendor.
 14. **CONFIDENTIALITY:** The vendor agrees that he or she will not disclose to anyone, directly or indirectly, any such personally identifiable information or other confidential information gained from the agency, unless the individual who is the subject of the information consents to the disclosure in writing or the disclosure is made pursuant to the agency's policies, procedures, and rules. Vendor further agrees to comply with the Confidentiality Policies and Information Security Accountability Requirements, set forth in <http://www.state.wv.us/admin/purchase/privacy/noticeConfidentiality.pdf>.
 15. **LICENSING:** Vendors must be licensed and in good standing in accordance with any and all state and local laws and requirements by any state or local agency of West Virginia, including, but not limited to, the West Virginia Secretary of State's Office, the West Virginia Tax Department, and the West Virginia Insurance Commission. The vendor must provide all necessary releases to obtain information to enable the director or spending unit to verify that the vendor is licensed and in good standing with the above entities.
 16. **ANTITRUST:** In submitting a bid to any agency for the State of West Virginia, the bidder offers and agrees that if the bid is accepted the bidder will convey, sell, assign or transfer to the State of West Virginia all rights, title and interest in and to all causes of action it may now or hereafter acquire under the antitrust laws of the United States and the State of West Virginia for price fixing and/or unreasonable restraints of trade relating to the particular commodities or services purchased or acquired by the State of West Virginia. Such assignment shall be made and become effective at the time the purchasing agency tenders the initial payment to the bidder.
- I certify that this bid is made without prior understanding, agreement, or connection with any corporation, firm, limited liability company, partnership, or person or entity submitting a bid for the same material, supplies, equipment or services and is in all respects fair and without collusion or Fraud. I further certify that I am authorized to sign the certification on behalf of the bidder or this bid.

INSTRUCTIONS TO BIDDERS

1. Use the quotation forms provided by the Purchasing Division. Complete all sections of the quotation form.
2. Items offered must be in compliance with the specifications. Any deviation from the specifications must be clearly indicated by the bidder. Alternates offered by the bidder as **EQUAL** to the specifications must be clearly defined. A bidder offering an alternate should attach complete specifications and literature to the bid. The Purchasing Division may waive minor deviations to specifications.
3. Unit prices shall prevail in case of discrepancy. All quotations are considered F.O.B. destination unless alternate shipping terms are clearly identified in the quotation.
4. All quotations must be delivered by the bidder to the office listed below prior to the date and time of the bid opening. Failure of the bidder to deliver the quotations on time will result in bid disqualifications: Department of Administration, Purchasing Division, 2019 Washington Street East, P.O. Box 50130, Charleston, WV 25305-0130
5. Communication during the solicitation, bid, evaluation or award periods, except through the Purchasing Division, is strictly prohibited (W.Va. C.S.R. §148-1-6.6).

ADDENDUM NUMBER 1

Dated: January 12, 2012

Re: Canaan Valley Resort Renovations & Additions
Division of Natural Resources
Davis, WV
RFQ# DNRB12095

From: Paradigm Architecture
2223 Cheat Road
Suite 300
Morgantown, WV 26508
(304) 284-5015

This Addendum forms a part of the Contract Documents and modifies the original bidding Documents dated December 19, 2011, as noted below.

This Addendum consists of:

Items and Questions	ten (10) pages
Mandatory Pre-Bid sign-In Sheet	seven (7) pages
Information for Bidders	four (4) pages
Form of Proposal	five (5) pages
Specification Section 05 5500.01 Site Metal Fabrications	seven (7) pages
Specification Section 07 4646 Fiber Cement Siding	four (4) pages
BD01 Bulletin Drawing 01	
BD02 Bulletin Drawing 02	
BD03 Bulletin Drawing 03	
BD04 Bulletin Drawing 04	
BD05 Bulletin Drawing 05	
BD06 Bulletin Drawing 06	
BD07 Bulletin Drawing 07	
BD08 Bulletin Drawing 08	
BD09 Bulletin Drawing 09	

Drawings	H2.03	H3.03
E2.13	H2.04	H3.04
E2.21	H2.05	H3.05
E2.22	H2.06	H3.06
E2.31	H2.07	H4.01
E2.32	H2.08	H4.02
H1.01	H2.09	H5.01
H1.02	H2.10	H5.02
H1.03	H2.11	H7.02
H1.04	H2.12	H8.01
H2.01	H3.01	
H2.02	H3.02	

The above will be available on the architect's FTP site – see link below.

To open the shared files, click or copy the link below:

<http://www.filesanywhere.com/fs/v.aspx?v=8a6e67895e6474a970a0>

Pre-Bid Conference Information and Clarifications:

Attending: See attached sign-in sheets. Based on the Request for Quotations this is a mandatory pre-bid meeting, firms in attendance and represented as indicated on the sign in sheet are permitted to submit bids for this project. Bids submitted by vendors not attending the mandatory pre-bid shall result in disqualification of the bid.

All questions regarding this project must be submitted to the Division of Purchasing.

The Pre-Bid Conference was intended to provide a general introduction to the project and the site conditions. Only responses included in formal Addenda shall be relied upon as requirements of the project. This includes discussion during the meeting or any dialogue with representative of the DNR, Canaan Valley Resort or the Design Team.

Item 1: The bid date is changed to Thursday, February 9, 2012. The time and location remain unchanged.

Item 2: The last date for the submission of questions to be included in the final addendum will be Thursday, January 26, 2012.

Item 3: Questions (Requests for Information) shall go to:

Frank Whittaker, Senior Buyer
Finance and Administration, Purchasing Division
2019 Washington Street, East
Charleston, WV 25305
Phone: 304.558.2316 ext. 218
Email: frank.m.whittaker@wv.gov

- Item 4:** In the "Request for Quotation" issued by the Purchasing Division on page 6, item 2, change the date that addendum should be received by the buyers from fourteen (14) days to ten (10) days prior to the bid opening date. Substitution requests also must be received fourteen (14) days prior to the bid opening date.
- Item 5:** Delete the "Information for Bidders" Section of the Specification and replace with the attached section.
- Item 6:** With regard to the existing safety measures at the Guest Wings, prior to the Notification to Proceed, the successful General Contractor must assume in writing the responsibility for the existing cable rail/fall protection. Otherwise, Wiseman Construction will remove these systems prior to work beginning on this contract. All costs associated with this item must be included in this bid.
- Item 7:** All construction testing is the responsibility of the General Contractor.
- Item 8:** Contact Don McFarlan, Park Ranger, for access to property only (no technical questions). Field Visits may be scheduled at the discretion of the Park Staff individually or as a group.
- Canaan Valley Resort State Park
134 Headquarters Road
Davis, WV 26260
Phone: (304) 866-4111
Email: donald.b.mcfarlan@wv.gov
- Item 9:** Construction Documents related to the Phase 1 Foundation & Structural Steel Project are available for information purposes from the Paradigm FTP Site. These are not the "Record" drawings for this work, but can be used for reference. The civil work related to this project is documented on the Civil drawings for this phase as existing conditions. Contractors are encouraged to verify field conditions.
- Item 10:** Work will be permitted between the hours of 8:00 a.m. and 6:00 p.m. Monday through Friday except "quiet" work as approved by the architect/engineer and the Owner.
- Item 11:** Pricing for Alternates must be included on the Bid Form.
- Item 12:** No county building permit is required for this project.
- Item 13:** A description of the general sequencing of the work can be found on Section 01 1000 Summary. The successful Contractor must develop a plan to achieve these goals. Variations on this description will be considered in order to encourage efficiency in the construction process, but it is vital that the facility remain in operation and that services maintained. The Owner will provide final approval of the proposed sequencing plan.

- Item 14:** Delete Specification Section 07 4646 – Fiber Cement Siding and replace with the attached section.
- Item 15:** The four (4) electrical drawings (E2.21, E2.22, E2.31, E2.32) included in this addendum are on the Index of Drawings, but were not included in the original set of drawings.
- Item 16:** Architectural drawing A3.18 included in the Index of Drawings was intentionally omitted from this set.
- Item 17:** The electrical transformer noted on 3B/A3.00 and in other locations in the Construction Documents as well as all associated raceway and wiring has been installed under a previous contract and is not included in the scope of this project.
- Item 18:** See attached revised HVAC drawings H1.01, H1.02, H1.03, H1.04, H2.01, H2.02, H2.03, H2.04, H2.05, H2.06, H2.07, H2.08, H2.09, H2.10, H2.11, H2.12, H3.01, H3.02, H3.03, H3.04, H3.05, H3.06, H4.01, H4.02, H5.01, H5.02, H7.02, and H8.01.
- Item 19:** See attached revised electrical drawing E2.13 and bulletin drawings BD01 and BD02.
- Item 20:** See attached architectural bulletin drawings BD03, BD04, BD05, and BD06.
- Item 21:** See revised Bid Form.
- Item 22:** Clarification of Detail 5/S20. The top of footing for the Loading Dock and screen wall shall be held at a consistent elevation of 5'-6 $\frac{7}{8}$ " as referenced from Ground Level 0'x0" on the detail.
- Item 23:** All exterior architectural railings are based on the design shown in Detail 1H/A7.10. Refer to Civil drawings for specific application of site handrails.
- Item 24:** Refer to attached architectural bulletin drawing BD07 for clarification of transom windows above first floor patio doors.

The following requests for information have been received from contractors. Answers are provided.

Question 1: Please provide copy of geotechnical engineering report.

Answer: *The geotechnical engineering report is included in Specification Section 00 3100 – Available Project Information.*

Question 2: Specifications, AIA A201-2007, Supplementary Conditions, Article 11.3.1 changes the responsibility of the Builder's Risk Insurance from the Owner to the Contractor. RFQ, Page 4 indicates the Builder's Risk Insurance is by the Owner.

Answer: *The Contractor will provide Builder's Risk Insurance.*

Question 3: RFQ, General Terms & Conditions, #7, (Vendor preference will be granted upon written request in accordance with the WV Code). Does this apply to this project? If so, please consider this as our written request.

Answer: *Vendor preference does not apply to construction.*

Question 4: RFQ, General Terms & Conditions, #8, (The State of WV is exempt from federal and state taxes and will not pay or reimburse such taxes). Does tax exemption apply to this project?

Answer: *There is no exemption of state or federal taxes that would apply to a bidder/contractor on this project.*

Question 5: State Supplemental Instructions: 4.2.2 states bid bond "must be countersigned by a resident agent of WV." Please confirm this is not required.

Answer: *Counter-signature by a resident agent of WV is no longer required.*

Question 6: Provide quantity of topsoil stockpiled on site: Quantity needed to determine if additional is required or excess needs to be removed from site.

Answer: *All topsoil from the Foundation/Structural Steel contract has been used as part of that scope of work. The cost of topsoil required to complete this project is the responsibility of the bidder.*

Question 7: Clarify scope of site utilities provided under the early bid package.

Answer: *This is clarified in Item 6. Site utilities completed under the Foundation/Structural Steel contract are included on the civil drawings as existing conditions.*

Question 8: Information for Bidders: Provide revised dates for Addenda and Substitutions.

Answer: *This is covered in Item 1.*

Question 9: Please post the completed Foundations and Structural Steel package drawings to the architect's FTP site for our review, as listed in Specification Section 00 3100.

Answer: *This is covered in Item 6.*

Question 10: Please confirm use of 2011 Tucker County Building Wage Rates as issued in the project manual.

Answer: *It is the responsibility of the contractor to use the appropriate wage rates as it applies to the construction period of this project. The 2011 wage rates were included in error and, by this Addendum, deleted from the Project Manual.*

Question 11: The State-issued RFQ does not have the builder's risk insurance checked off as required. Attachment A, State Supplemental Conditions 11.3.1 states it is to be provided by the contractor and sample insurance certificate provided in the Specification indicates builder's risk is required. Clarify requirement.

Answer: *The Contractor will provide Builder's Risk Insurance.*

Question 12: The section Information for Bidders (summary of early bid package), is not listed in the Table of Contents for the project manual. Please confirm this section is considered a contract document.

Answer: *Information for Bidders was issued as part of this addendum and, thereby, included in the Construction Documents.*

Question 13: Please clarify that in Specification Section 01 1000 – Summary, work includes items not included in this bid package. Several items listed in the section, are listed in the Information for Bidders section as included in the earlier bid package: Rough grading, site erosion control, strip/stockpile topsoil, metal pan stairs, elevated concrete slabs, steel lintels (listed in Specification Section 05 5000), etc.

Answer: *Section 01 1000 is intended to provide a broad overview of the project. The requirements are defined in the drawings and specifications. Review of information provided in the Foundation and Structural Steel package documents is intended to further clarify existing conditions.*

Question 14: In Specification Section 04 0511, Paragraph 2.01, Item F.1, clarify full range of colors: Standard or custom?

Answer: *Standard colors.*

Question 15: Project manual posted to the FTP site contains two different sections for Specification Section 05 5000 - Metal Fabrications. Clarify which one is correct.

Answer: *See attached revised Specification Section 05 5500 – Site Metal Fabrication. DELETE the Specification Section 05 5000 – Metal Fabrications that immediate follows Specification Section 05 5305 – Metal Gratings.*

Question 16: In Specification Section 07 4646, Paragraph 2.01, Item A.7, clarify color of siding: "full range of colors," standard, premium, or custom.

Answer: *Standard color palette relative to this region.*

Question 17: In Specification Section 08 7100, hardware set 49, clarify note at the end of set: "Field fill, repair, and refinish existing to like new condition and operation." Does this note apply to the existing door hardware or the existing door? Please confirm what is required at the existing doors listed under this set number. No direction has been provided on the drawings.

Answer: *Hardware Set 49 is a listing of attic stock to be provided for the Owner's use. The statement about "Field fill, repair, and refinish existing to like new condition and operation" is found under Hardware Set 50. Delete Hardware Set 50 in its entirety. Existing door hardware not scheduled to be replaced will not be included in the scope of this project.*

Question 18: No specification for spray-applied fireproofing has been provided. Please confirm this is not required

Answer: *Spray fireproofing is not required for this project. The detail 7H/A0.20 is deleted from the project.*

Question 19: Please confirm that we are to include moisture mitigation provisions for the existing/new concrete floor slabs as specified in Specification Section 09 6229, Paragraph 3.01; Specification Section 09 6500, Paragraph 3.01D; and Specification Section 09 6800, Paragraph 3.01B. The cost of such provision will be in excess of \$300,000 (\$3-\$5 per SF) for a project of this size. The way the specifications are worded, it implies that we are responsible to provide these provisions "as required" after the moisture levels of the floors are tested. This places all the risk on the contractor, and does not provide the owner the opportunity to recover this cost if moisture mitigation is not required. It is more equitable to both the contractor and the owner if moisture mitigation provisions are required to be included in the bid. Typically, this is done by providing a specification section for moisture mitigation provisions and stating the area (SF) of moisture mitigation to be provided, which then can be adjusted by a unit price. Please consider making this adjustment.

Answer: *Contractor shall include in their pricing costs associated for slab preparation for all slabs-on-grade designated to receive scheduled finishes. Contractor will included on the Bid Form a unit price that shall serve to provide an additive and deductive cost for any additional slab areas that require preparation based on moisture testing. All work associated with concrete slab preparation shall be in accordance with manufacturer's recommendations for installation of the specified materials.*

Question 20: Please confirm that the concrete slabs, on grade and elevated on metal decking, have be placed in accordance with Specification Section 03 3000, Paragraph 3.05A. Any corrections (floor leveling) to these slabs required to receive new flooring will be the responsibility of the contracting currently under contract performing this work.

Answer: *To the best of our knowledge, work has been completed in accordance with the requirements of the contract documents. Any conditions found to be non-compliant will be corrected by the original contractor responsible for this work.*

Question 21: Specification Section 10 1400, Paragraph 2.02B states to provide a sign for every door and room. Are signs required inside the guestrooms at the guestroom closet and guestroom bathroom doors?

Answer: *The following schedule will define basic signage quantities and types.*

Guest Room Wings

168	Room Numbers
16	Stair Signs
16	Floor Location Signs in Stairwells
26	Room Names
20	Directional Text
10	"In case of fire . . . " Signs at Elevators

First Floor

34	Room Names
----	------------

Second Floor

45	Room Names
----	------------

The quantity and types of signs identified above are intended to apply to new construction and existing construction. Handicapped symbol designations shall apply as indicated in the room name on the drawings.

Question 22: Please provide dimensions for gutters and downspouts

Answer: *All (guest wing) downspout sizes shall be 3"x5". All (guest wing) gutter sizes shall be 6" deep x 8" wide, min. beveled profile as shown on wall sections.*

Question 23: Detail14/S6 - please confirm the #4 dowel connecting the existing grade beam to the new concrete slab has already been installed.

Answer: *The dowels were installed as part of the previous work and are not a part of this contract.*

Question 24: The early bid package drawings posted to the ftp site do not include any civil drawings showing the site work that was included. The Information for Bidders section of the project manual includes a list of site work that was included as part of the early bid package: rough grading, E&S measures, topsoil stripping, vegetation protection provisions, site utilities, etc. Will the drawings showing this work be provided? Will the early bid package drawings being issued be considered part of the contract documents?

Answer: *Every effort was made to incorporate the structural steel contract work into the current bid package as existing conditions with appropriate notations. The Civil contract documents for the structural steel package have not been made available to avoid confusion and are not necessary for making bids on the current set.*

Question 25: Are there any rental fees associated with the existing temporary construction fencing that is being provided under the Phase 1 Foundations contract?

Answer: *The current construction fence will remain at no cost to the contractor for this project. It is the responsibility of this contractor to account for any modifications to the layout, maintain the current fence, and remove and turn over all components to the Owner at the end of the project.*

Question 26: C3.0 - no railings are indicated at the concrete stairs accessing the south wing. Are they required?

Answer: *Please see the detail callout (32/C5.3) on Sheet 3.0. Detail 32 on Sheet 5.3 indicates railing on the concrete steps.*

Question 27: C4.0 - No Site Gas line indicated on plan labeled "Water, Sewer, Gas Plan." P2.00 shows a gas line leaving the building. Clarify scope of any new site gas lines required.

Answer: *The gas connection upgrade will be included with the current bid package. The gas connection information shown in Sheet P.200 shall govern, and the Contractor shall extend the new line perpendicular to the building to tie into the existing gas main using Sheet C4.0 for location information.*

Question 28: S2 - loading dock area is labeled as Alternate #1. Should this be Alternate #2? Clarify note "base bid shall include footing and wall up to ramped sides. Addendum #1 extends the wall to full height." No Addendum #1 has been received.

Answer: *The loading should be listed as Alternate #2. The note referring to "Addendum #1" should be labeled as Alternate #2.*

Question 29: 15/S3 – does the detailed brick shelf angle get installed under this bid package? If yes, the description of the previous bid package includes foundation backfill. Please clarify if these footings were backfilled, and if excavation will be required to perform this work.

Answer: *All shelf angles are to be included in this Bid.*

Question 30: Is any phasing of the interior renovations work in the existing lodge to be phased? No phasing plan has been provided as part of the project documents. Please provide a phasing plan if required, or at a minimum, a narrative indicating any combination of locations which cannot be renovated at the same time.

Answer: *Please refer to the description in Specification Section 01 1000 Summary, Paragraph 2, Item 2 for Phasing information. As discussed in the Pre-Bid Meeting, we must maintain the day-to-day operation of the facility including entrance and front desk operation. We understand that the café, gift shop, and other interior areas will be impacted. Prior to construction, Contractors will be required to submit a plan of action for coordination and approval.*

Question 31: A3.01 - provide a copy of the toilet accessories legend. Architect's title block is printed over the legend.

Answer: *Please see the attached Schedule on bulletin drawing BD08.*

Question 32: Specification Section 06 2200 identifies interior running and standing trim as Maple; drawing A4.01 labels the trim as Cherry. Clarify species.

Answer: *Wood species will be Maple. Stain color will be Cherry. This will be typical for any reference to "Cherry Wood."*

Question 33: A4.11 details J13 & H13 - clarify species of 2x12 exterior rough cut trim material. Is it to be yellow pine to match exposed timbers as specified in 6100-2.03?

Answer: *That is correct. The wood dimension for J13 is revised to be 2"x8". The Head Detail, H13 dimension is correct.*

Question 34: Clarify Material WD-1 as shown on drawing ID-6.0, material listed on ID1.1 is flooring.

Answer: *That is correct.*

Question 35: Provide all construction details and ceiling sections, referenced on ID-6.0.

Answer: *Details referenced on ID-6.0 are included on bulletin drawing BD09. ID-7.0 will not be issued as part of this project.*

Question 36: There is timber framing indicated at the balconies at the guestroom wings (on the elevations). No construction details have been provided.

Answer: *See attached Detail.*

Question 37: None of the timber work at the new main entry clerestory is detailed or dimensioned on either the architectural or structural drawings. Provide construction drawings for pricing.

Answer: *See attached Reflected Ceiling Plan with notes. Plan details are located on A9.00.*

Question 38: 10D/A4.01 - provide a section above the stone work showing the column/pilaster construction. Detail 7F/A4.52 which is labeled as a similar detail/location on drawings A5.50 shows different construction. Adequate details for pricing and construction have not been provided for work in this area.

Answer: *See attached revised 7F/A4.52 and 10D/A4.01.*

End of Addendum

PRE-BID CONFERENCE
SIGN IN SHEET

Request for Quotation Number DNRB12095 Lodge Gen'l Contractor Date 12/29/2011 Park Canaan Valley Resort

PLEASE PRINT LEGIBLY. THIS INFORMATION IS ESSENTIAL TO CONTACT THE ATTENDEE IN A TIMELY MANNER. FAILURE TO DO SO MAY RESULT IN DELAYS IN YOUR COMPANY GETTING IMPORTANT BID INFORMATION.

<p>Firm Name: <u>WV State Purchasing</u></p> <p>Firm Address: <u>2019 Washington St</u> <u>Charleston, WV 25305</u></p> <p>Representative Attending: <u>Frank Wilthaker</u></p> <p>Phone Number: <u>304 558-2316</u></p> <p>Fax Number: <u>304 558-4115</u></p> <p>Email Address: <u>Frank.Wilthaker@wv.gov</u></p>	<p>Firm Name: <u>WV Purchasing Div</u></p> <p>Firm Address: <u>2019 Washington St</u> <u>Charleston, WV 25305</u></p> <p>Representative Attending: <u>Frank Wilthaker</u></p> <p>Phone Number: <u>304 558-2316</u></p> <p>Fax Number: <u>304 558-4115</u></p> <p>Email Address: <u>Frank.Wilthaker@wv.gov</u></p>
<p>Firm Name: <u>Peradigm Architecture</u></p> <p>Firm Address: <u>2223 Chest Road Ste 300</u> <u>Morgantown, WV</u> <u>26508</u></p> <p>Representative Attending: <u>Paul A. Walker</u></p> <p>Phone Number: <u>304-284-5015 ext.1</u></p> <p>Fax Number: <u>304-284-5014</u></p> <p>Email Address: <u>Pwalker@peradigm-arch.com</u></p>	<p>Firm Name: <u>Leonard S. Fiore Inc</u></p> <p>Firm Address: <u>5506 6th Ave Rear</u> <u>Altoona Pa 16602</u></p> <p>Representative Attending: <u>Brett Williams</u></p> <p>Phone Number: <u>814-946-3686</u></p> <p>Fax Number: <u>814 946-5288</u></p> <p>Email Address: <u>BWilliams@LSFiore.com</u></p>
<p>Firm Name: <u>WV State Purchasing</u></p> <p>Firm Address: <u>2019 Washington St E</u> <u>Charleston, WV 25305</u></p> <p>Representative Attending: <u>Krista S. Ferrell, Buyer Supervisor</u></p> <p>Phone Number: <u>304. 558-2596</u></p> <p>Fax Number: <u>304. 558-4115</u></p> <p>Email Address: <u>Krista.S.Ferrell@wv.gov</u></p>	<p>Firm Name: <u>Leonard S. Fiore Inc</u></p> <p>Firm Address: <u>5506 6th Ave Rear</u> <u>Altoona Pa 16602</u></p> <p>Representative Attending: <u>Joe Irwin</u></p> <p>Phone Number: <u>814-946-3686</u></p> <p>Fax Number: <u>814-946-3686</u></p> <p>Email Address: <u>JIrwin@LSFiore.com</u></p>

PRE-BID CONFERENCE
SIGN IN SHEET

Request for Quotation Number DNRB12095 Lodge Gen'l Contractor Date 12/29/2011 Park Canaan Valley Resort

PLEASE PRINT LEGIBLY. THIS INFORMATION IS ESSENTIAL TO CONTACT THE ATTENDEE IN A TIMELY MANNER. FAILURE TO DO SO MAY RESULT IN DELAYS IN YOUR COMPANY GETTING IMPORTANT BID INFORMATION.

<p>Firm Name: <u>Paramount Builders LLC</u></p> <p>Firm Address: <u>501 6th Ave</u> <u>St Albans, VT 05472</u></p> <p>Representative Attending: <u>Charlie Lucas</u></p> <p>Phone Number: <u>(304) 727-2770</u></p> <p>Fax Number: <u>(304) 727-0302</u></p> <p>Email Address: <u>clucas@paramountbuilders.com</u></p>	<p>Firm Name: <u>FH Last Mechanical</u></p> <p>Firm Address: <u>880 Kelly Road</u> <u>Cum gratia MD 21552</u></p> <p>Representative Attending: <u>FRANK MARKER</u></p> <p>Phone Number: <u>301-724-0650</u></p> <p>Fax Number: <u>301-724-0939</u></p> <p>Email Address: <u>frankmarker@whipp.com</u></p>
<p>Firm Name: <u>W. HARLEY MILLER CONTRACTORS</u></p> <p>Firm Address: <u>1193 HEMESVILLE ROAD</u> <u>MARTINSBURG, WV 25403</u></p> <p>Representative Attending: <u>TERRY AILKENS</u></p> <p>Phone Number: <u>304-267-8959</u></p> <p>Fax Number: <u>304-267-3847</u></p> <p>Email Address: <u>tailkens@whmcontractors.com</u> <u>tailkens@whmcontractors.com</u></p>	<p>Firm Name: <u>B.W.A. Heating & Cooling LLC</u></p> <p>Firm Address: <u>13972 George Washington Hwy</u> <u>Randolph WVA 26425</u></p> <p>Representative Attending: <u>B.W. Ayleward</u></p> <p>Phone Number: <u>304-454-9714</u></p> <p>Fax Number: <u>304-454-9716</u></p> <p>Email Address: <u>bba@baleward.com</u></p>
<p>Firm Name: <u>PRC CARPENTRY LLC</u></p> <p>Firm Address: <u>400 9th Street NW</u> <u>Suite 1400</u> <u>Chattanooga, TN 37401</u></p> <p>Representative Attending: <u>A. J. Lucas</u></p> <p>Phone Number: <u>423-263-4621</u></p> <p>Fax Number: <u>423-263-4621</u></p> <p>Email Address: <u>as@prccarpentry.com</u></p>	<p>Firm Name: <u>TERESA J. HARRIS CONTRACTING CO. INC.</u></p> <p>Firm Address: <u>1115 S. WHEELER AVE</u> <u>CHAMBERSBURG, PA 17201</u></p> <p>Representative Attending: <u>A. J. Lucas</u></p> <p>Phone Number: <u>423-263-4621</u></p> <p>Fax Number: <u>423-263-4621</u></p> <p>Email Address: <u>as@prccarpentry.com</u></p>

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<p>Firm Name: <u>Venture One Construction</u></p> <p>Firm Address: <u>3883 Virginia Avenue</u> <u>Cincinnati OH 45227</u> <u>mac@vicinc.com</u></p> <p>Representative Attending: <u>Mike Mazingo</u></p> <p>Phone Number: <u>513-527-4055</u></p> <p>Fax Number: <u>513-527-4066</u></p> <p>Email Address: <u>mac@vicinc.com</u></p>	<p>Firm Name: <u>Augustine Electronics Services</u></p> <p>Firm Address: <u>600 M. Hill Road</u> <u>Pittsburgh, PA 15207</u></p> <p>Representative Attending: <u>Kevin Crounch</u></p> <p>Phone Number: <u>412-382-7209</u></p> <p>Fax Number: <u>412-531-4484</u></p> <p>Email Address: <u>kevin@desumma.com</u></p>
<p>Firm Name: <u>W.C. Danner LLC</u></p> <p>Firm Address: <u>109 Walnut Street</u> <u>Stonewall, Indiana 46784</u> <u>P.O. Box 9236 Stonewall, Indiana 46784</u> <u>W.C. Danner Construction</u></p> <p>Representative Attending: <u>W.C. Danner</u></p> <p>Phone Number: <u>304-624-7155</u></p> <p>Fax Number: <u>304-624-7182</u></p> <p>Email Address: <u>wc.danner@frontier.com</u></p>	<p>Firm Name: <u>Rycca Construction</u></p> <p>Firm Address: <u>2525 Liberty Ave</u> <u>Pittsburgh PA 15222</u></p> <p>Representative Attending: <u>Kevin Crounch</u></p> <p>Phone Number: <u>412-392-2525</u></p> <p>Fax Number: <u>412-392-2526</u></p> <p>Email Address: <u>kevin@rycca-inc.com</u></p>
<p>Firm Name: <u>Manheim Corp</u></p> <p>Firm Address: <u>225 Green Tree Ave</u> <u>Pittsburgh PA 15220</u> <u>225 Green Tree Ave</u> <u>Robin McCutcheon</u></p> <p>Representative Attending: <u>Robin McCutcheon</u></p> <p>Phone Number: <u>412-306-6534</u></p> <p>Fax Number: <u>412-306-6535</u></p> <p>Email Address: <u>rob@manheimcorp.com</u></p>	<p>Firm Name: <u>DES</u></p> <p>Firm Address: <u>600 Mifflin Rd</u> <u>Pgh, PA</u></p> <p>Representative Attending: <u>Kevin Crounch</u></p> <p>Phone Number: <u>412-306-7317</u></p> <p>Fax Number: <u>412-306-7317</u></p> <p>Email Address: <u>kevin@desumma.com</u></p>

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Request for Quotation Number DNRB12095 Lodge Gen'l Contractor Date 12/29/2011 Park Canaan Valley Resort

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<p>Firm Name: <u>HARBEL INC</u></p> <p>Firm Address: <u>P.O. Box 358</u> <u>Cumbarland MD.</u> <u>21502</u></p> <p>Representative Attending: <u>KEVIN WHITE</u></p> <p>Phone Number: <u>301-729-8303</u></p> <p>Fax Number: <u>301-729-0163</u></p> <p>Email Address: <u>White@thebeltgroup.com</u></p>	<p>Firm Name: <u>MASARO CORPORATION</u></p> <p>Firm Address: <u>120 DELTA DRIVE</u> <u>PITTSBURGH PA 15238</u></p> <p>Representative Attending: <u>JOSH WELLS</u></p> <p>Phone Number: <u>412-963-2800</u></p> <p>Fax Number: <u>412-963-2880</u></p> <p>Email Address: <u>JWELLS@masarocorporation.com</u></p>
<p>Firm Name: <u>SCHWEDER CONSTRUCTION</u></p> <p>Firm Address: <u>514 GEORGE ST</u> <u>PO BOX 1685</u> <u>PARKERSBURG, W. VA</u></p> <p>Representative Attending: <u>PAUL HARLITZEL</u></p> <p>Phone Number: <u>304-422-3519</u></p> <p>Fax Number: <u>304-422-3562</u></p> <p>Email Address: <u>PAUL@SCHWEDERCONSTRUCTION.COM</u></p>	<p>Firm Name: <u>Masaro Construction</u></p> <p>Firm Address: <u>1720 Metropolitan Street</u> <u>Pittsburgh, PA 15233</u></p> <p>Representative Attending: <u>Michael Ellis</u></p> <p>Phone Number: <u>412-321-4901</u></p> <p>Fax Number: <u>412-321-4903</u></p> <p>Email Address: <u>mellis@masarocorporation.com</u></p>
<p>Firm Name: <u>Veritas Contracting LLC</u></p> <p>Firm Address: <u>1935 Suite 1</u> <u>Pineview Dr</u> <u>Morgan town WV 26505</u></p> <p>Representative Attending: <u>Ron Joseph</u></p> <p>Phone Number: <u>304-598-2285</u></p> <p>Fax Number: <u>304-598-2287</u></p> <p>Email Address: <u>RJON@VERITASWV.COM</u></p>	<p>Firm Name: <u>HERMAN/STEWART CONSTRUCTION</u></p> <p>Firm Address: <u>4550 FORBES BLVD STE 200</u> <u>LANHAM, MD 20106</u></p> <p>Representative Attending: <u>BLAKE JONES</u></p> <p>Phone Number: <u>301-731-5555</u></p> <p>Fax Number: <u>301-731-8006</u></p> <p>Email Address: <u>bjones@herman-stewart.com</u></p>

@ Veritas WV, com

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Request for Quotation Number DNRB12095 Lodge Gen'l Contractor Date 12/29/2011 Park Canaan Valley Resort

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<p>Firm Name: <u>Hayslett Construction</u></p> <p>Firm Address: <u>P.O. Box 447</u> <u>3707 Trans Illinois Road</u> <u>Harrisburg, WV 25326</u></p> <p>Representative Attending: <u>JC Linkins</u></p> <p>Phone Number: <u>(304) 757-9348</u></p> <p>Fax Number: <u>(304) 757-9561</u></p> <p>Email Address: <u>whayslett@aol.com</u></p>	<p>Firm Name: <u>Danhill Construction Co.</u></p> <p>Firm Address: <u>P.O. 685 Gauley Bridge</u> <u>W.V. 25085</u></p> <p>Representative Attending: <u>Dale Legg</u></p> <p>Phone Number: <u>304-632-7600</u></p> <p>Fax Number: <u>304-632-1501</u></p> <p>Email Address: <u>rdanhill@hotmail.com</u></p>
<p>Firm Name: <u>Wise Construction Co. Inc</u></p> <p>Firm Address: <u>1616 - 1st Ave</u> <u>Charleston WV 25312</u></p> <p>Representative Attending: <u>John Wise</u></p> <p>Phone Number: <u>304-344-1200</u></p> <p>Fax Number: <u>304-344-1289</u></p> <p>Email Address: <u>FWise@wiseconstruction.com</u></p>	<p>Firm Name: <u>Marchwest Construction Inc</u></p> <p>Firm Address: <u>360 Frontier Street</u> <u>Marquette, WV 26565</u></p> <p>Representative Attending: <u>Joel Radman</u></p> <p>Phone Number: <u>304-599-4880</u></p> <p>Fax Number: <u>304-599-7509</u></p> <p>Email Address: <u>Joel@Marchwestinc.com</u></p>
<p>Firm Name: <u>C. A. Brown Esq. Inc</u></p> <p>Firm Address: <u>215 Main St</u> <u>Fairmont WV 26554</u></p> <p>Representative Attending: <u>James B. Brown</u></p> <p>Phone Number: <u>304-366-9500</u></p> <p>Fax Number: <u>304-366-9450</u></p> <p>Email Address: <u>jbrown@cabrown.net</u></p>	<p>Firm Name: <u>ROBERTS ESTATES INC</u></p> <p>Firm Address: <u>80 WAGERMAN LANE</u> <u>HENDRICKS WV 26271</u></p> <p>Representative Attending: <u>FRANK A. ROBERTS</u></p> <p>Phone Number: <u>304-478-2307</u></p> <p>Fax Number: <u>304-478-3584</u></p> <p>Email Address: <u>RETDUB@comcast.net</u></p>

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Request for Quotation Number DNRB12-015 Date 12/29/2011 Park CANADIAN - WOLFE CREEK CONVENTION

PLEASE PRINT LEGIBLY. THIS INFORMATION IS ESSENTIAL TO CONTACT THE ATTENDEE IN A TIMELY MANNER. FAILURE TO DO SO MAY RESULT IN DELAYS IN YOUR COMPANY GETTING IMPORTANT BID INFORMATION.

<p>Firm Name: <u>DACOSTA'S ELECTRONICS SRS</u></p> <p>Firm Address: <u>600 MATHLIN ROAD</u> <u>PITTSBURGH, PA 15267</u></p> <p>Representative Attending: <u>Rob Mathison</u></p> <p>Phone Number: <u>412-306-7322</u></p> <p>Fax Number: <u>412-531-6222</u></p> <p>Email Address: <u>rob@dacosta.com</u></p>	<p>Firm Name: _____</p> <p>Firm Address: _____</p> <p>Representative Attending: _____</p> <p>Phone Number: _____</p> <p>Fax Number: _____</p> <p>Email Address: _____</p>
<p>Firm Name: <u>TAMER ENGINEERING</u></p> <p>Firm Address: <u>115 EVERGREEN HEIGHTS DR</u> <u>PITTSBURGH, PA 15229</u></p> <p>Representative Attending: <u>TOM GOESKI</u></p> <p>Phone Number: <u>(412) 931-8888</u></p> <p>Fax Number: <u>(412) 931-2525</u></p> <p>Email Address: <u>tom@tgoeski.com</u></p>	<p>Firm Name: _____</p> <p>Firm Address: _____</p> <p>Representative Attending: _____</p> <p>Phone Number: _____</p> <p>Fax Number: _____</p> <p>Email Address: _____</p>
<p>Firm Name: _____</p> <p>Firm Address: _____</p> <p>Representative Attending: _____</p> <p>Phone Number: _____</p> <p>Fax Number: _____</p> <p>Email Address: _____</p>	<p>Firm Name: _____</p> <p>Firm Address: _____</p> <p>Representative Attending: _____</p> <p>Phone Number: _____</p> <p>Fax Number: _____</p> <p>Email Address: _____</p>

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Request for Quotation Number DNRB12095 Date 12/24/2011 Park CANAD LOOSE GOAT CONTRACT

PLEASE PRINT LEGIBLY. THIS INFORMATION IS ESSENTIAL TO CONTACT THE ATTENDEE IN A TIMELY MANNER. FAILURE TO DO SO MAY RESULT IN DELAYS IN YOUR COMPANY GETTING IMPORTANT BID INFORMATION.

<p>Firm Name: _____</p> <p>Firm Address: _____</p> <p>Representative Attending: _____</p> <p>Phone Number: _____</p> <p>Fax Number: _____</p> <p>Email Address: _____</p>	<p>Firm Name: _____</p> <p>Firm Address: _____</p> <p>Representative Attending: _____</p> <p>Phone Number: _____</p> <p>Fax Number: _____</p> <p>Email Address: _____</p>
<p>Firm Name: _____</p> <p>Firm Address: _____</p> <p>Representative Attending: _____</p> <p>Phone Number: _____</p> <p>Fax Number: _____</p> <p>Email Address: _____</p>	<p>Firm Name: _____</p> <p>Firm Address: _____</p> <p>Representative Attending: _____</p> <p>Phone Number: _____</p> <p>Fax Number: _____</p> <p>Email Address: _____</p>
<p>Firm Name: _____</p> <p>Firm Address: _____</p> <p>Representative Attending: _____</p> <p>Phone Number: _____</p> <p>Fax Number: _____</p> <p>Email Address: _____</p>	<p>Firm Name: _____</p> <p>Firm Address: _____</p> <p>Representative Attending: _____</p> <p>Phone Number: _____</p> <p>Fax Number: _____</p> <p>Email Address: _____</p>

**Canaan Valley Resort State Park
Lodge Renovation and Guest Room Construction
General Construction Contract
DIVISION OF NATURAL RESOURCES**

INFORMATION FOR BIDDERS-1

INFORMATION FOR BIDDERS

1. Project Summary

- A. The Project consists of construction of the following:
 - 1. Existing Resort:
 - a. Two (2) floors with square footage as indicated on Sheet A1.00
 - b. Renovations of existing space as indicated is required.
 - 2. New additions to Resort:
 - a. Completion of the construction of the North and South guest room wings including Four (4) floors with square footage as indicated on Sheet A1.00.
- B. Building Site Work:
 - 1. All earthwork excavations, compaction and to rough grading for building and parking areas.
 - a. Site Erosion Control, see Sheet C1.0
 - b. Contractor shall remove existing top soil and stockpile.
 - 2. All site utilities from source, to within 5'-0" of the building. Utilities will include but not limited to water, gas, sewer(s), power and telephone.
 - 3. Additional Site Work will include:
 - a. Final grading.
 - b. Paving including curbs and walks, as indicated.
 - c. Site directional signage, include handicapped parking.
 - d. Site fencing as indicated.
 - e. Site handrails as indicated
 - f. Guard rails, bollards, trench drains as indicated.
 - g. Landscaping
 - h. Top soil
 - i. Demolition of remaining portion of the old existing Lodging Building located at the South Wing. Coordinate this demolition with the installation of the new communications system. Include removal of all foundations and infill crawl space with compacted fill.
 - j. Other items indicated in Contract Documents.
- C. Substructure:
 - 1. Foundations:
 - a. Spread footings as indicated.
 - b. Excavation for all foundations.
 - c. Concrete slab on grade and elevated concrete slabs.
 - 2. Steel Structure: Shall include:
 - a. All columns, bearing plates, beams, bar joist, lintels, support angles, bollards, floor and roof decking and other items as indicated or specified.
 - 3. Metal pan stairs and handrails systems.
- D. Shell:
 - 1. Exterior walls shall be siding, masonry veneer, manufactured stone, face brick, etc. over drainage barrier on sheathing on metal studs with insulation and gypsum board. Exterior wall system and materials will vary at locations indicated.
 - a. Flashings and drainage barrier shall be provided.
 - 2. Roof Construction shall include metal stud truss framing with metal decking, sheathing with rigid insulation and roofing system, as indicated.
 - a. Roof systems shall include shingle and membrane roofing materials as indicated.
 - 3. Exterior Doors systems with hardware shall include:
 - a. Storefront doors.
 - b. Insulated Hollow metal
 - 4. Exterior windows shall include:

**Canaan Valley Resort State Park
Lodge Renovation and Guest Room Construction
General Construction Contract
DIVISION OF NATURAL RESOURCES**

INFORMATION FOR BIDDERS-2

- a. Fiberglass type window system.
- b. Storefront window system as indicated.
- c. Curtain Wall system as indicated.
- d. Insulated Glazing is required.
- E. Interior Construction:
 - 1. Partitions shall be metal stud with sound attenuation and gypsum board each side.
 - 2. Shaft wall system are required, at locations indicated.
 - 3. Interior wood doors with factory finish and hollow metal frames. Provide hardware for each door.
 - 4. Toilet Partitions and toilet accessories are required.
 - 5. Base and wall cabinets.
 - 6. Interior Finishes: Shall be furnished as indicated. Finishes include but not limited to:
 - a. Flooring: VCT, carpet, tile, etc.
 - b. Base: Rubber and wood profiles
 - c. Walls: Paint, Vinyl Wall Covering
 - d. Ceiling: Specialty ceiling systems, acoustical and drywall system.
- F. Services:
 - 1. Passenger hydraulic elevator and Passenger Machine Room Less Elevators(s).
- G. Equipment:
 - 1. See Allowance Section for allowance regarding FF & E.
- H. Engineering Systems:
 - 1. Purchase and installation of a fully functional Sprinkler system for all areas of the building.
 - 2. Purchase and installation of a fully functional Fire Alarm system for all areas of the building.
 - 3. Purchase and installation of all electrical, telephone and data/communication items as described in the Contract Documents, for all areas of the building.
 - 4. Purchase and installation HVAC system as described in the Contract Documents, for all areas of the building.
 - 5. Purchase and installation of all Gas Piping as described in the Contract Documents.

2. Examination of Contract Documents and Site

Each bidder must inform himself fully of the conditions relating to the construction of the project and the employment of labor thereon. Failure to do so will not relieve a successful bidder of his obligation to furnish all material and labor necessary to carry out the provisions of his contract. The bidder is required to examine carefully the Contract Documents and the site of the work contemplated. The submission of a bid shall be considered prima facie evidence that the bidder has made such examination and has judged for and satisfied himself as to the character, quality, and quantity of work to be performed and material required to be furnished under the Contract.

3. Addenda and Interpretations

No interpretation of the meaning of the plans, specifications, or other pre-bid documents will be made to any bidder orally.

Every request for such interpretations should be in writing addressed to the Engineer, Division of Natural Resources, Parks and Recreation Section, c/o Frank Whittaker, Senior Buyer, Purchasing Division, 2019 Washington Street, East, Charleston, West Virginia, 25305 and to be given consideration must be received at least fourteen (14) days prior to the date fixed for the opening of bids. Any and all such interpretations and any supplemental instructions will be in the form of written addenda to the specifications which, if issued, will be mailed to all prospective bidders (at the respective addresses furnished for such purposes), not later than ten (10) days prior to the date fixed for the opening of bids. Failure of any bidder to receive any such addendum or interpretation shall not relieve such bidder from any obligation under his bid as

**Canaan Valley Resort State Park
Lodge Renovation and Guest Room Construction
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INFORMATION FOR BIDDERS-3

submitted. All addenda so issued shall become part of the Contract Documents.

4. Substitutions

Requests for approval of substitutions must be addressed to and received by the Engineer, Division of Natural Resources, Parks and Recreation Section, c/o Frank Whittaker, Senior Buyer, Purchasing Division, 2019 Washington Street, East, Charleston, WV 25305, and to be given consideration must be received at least fourteen (14) days prior to the date fixed for the opening of bids.

Submission shall be made by prime Bidders; no consideration will be given to items submitted directly by manufacturers, suppliers, distributors or subcontractors. Substitutions of materials, products or equipment for those items specified will be considered only when a written request, on Bidder's company letterhead, is accompanied by suitable documentation to demonstrate that the product is equal and appropriate for use in this particular installation. Suitable documentation shall include the following as well as other information:

- Detailed comparison of significant qualities of proposed substitution with those of the work specified. This comparison shall be specific to each feature of the original product. Submission of product literature alone, without a written item by item comparison of the significant qualities of each product will not be considered a complete submission.
- Product Data, including drawings and descriptions of products of and fabrication and installation procedures. All furnished data must be manufactures original product data information, no faxes or copies will be accepted.
- Samples, where applicable or requested.
- Lists of similar installations for completed projects with project names and addresses and names and addresses of Engineers and owners.
- Material test reports from a qualified testing agency indicating and interpreting test results for compliance with requirements indicated.
- Research /evaluation reports evidencing compliance with building code in effect for Project, from model code organization acceptable to authorities having jurisdiction if applicable.
- Bidder's certification that proposed substitution complies with requirements in the bidding documents and is appropriate for the applications indicated.
- Written request for approval of the substitution on company letter head transmitting the aforementioned information and addressing any item not included.

Burden of proof of merit of requested substitution is upon the submitter. Any request not including all of the required information will be considered incomplete. Incomplete requests shall be rejected. The Engineer has no obligation to request additional information in order to consider the request. Approved requests will be set forth in Addenda issued in accordance with these Instructions to Bidders. All addenda so issued shall become part of the Contract Documents.

5. Contractor's Personnel Requirements

The official title of person signing the bid should be shown.

If a firm is a partnership, the full partnership name should be shown, and the bid should be signed by a partner. If a firm is a single proprietorship, the full name should be shown and the bid should be signed by the sole OWNER. If the bid of a partnership or single proprietorship is signed by a person other than the partners and OWNERS, there should be attached a written, duly acknowledged power of attorney clearly giving and showing that the signer has power sufficient to bind the partners and OWNERS of the firm to the bid.

**Canaan Valley Resort State Park
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INFORMATION FOR BIDDERS-4

If the firm is a corporation, and the person signing the bid is neither the president nor vice president of the corporation, there should be attached a written, duly acknowledged power of attorney or corporate resolution giving and showing that the signer has sufficient power to bind the corporation to the bid.

Sufficient evidence that the person signing the bid has the power to bind the offering company should be received by the Purchasing Division prior to the issuance of a contract.

**Canaan Valley Resort State Park
Lodge Renovation and Guest Room Construction
General Construction Contract**

DIVISION OF NATURAL RESOURCES

FORM OF PROPOSAL-1

Name of Bidder:

Address of Bidder:

Phone Number of
Bidder:

WV Contractors License
No.

We, the undersigned, having examined the site and being familiar with the local conditions affecting the cost of the work and also being familiar with the general conditions to bidders, drawings, and specifications, hereby proposes to furnish all materials, equipment, and labor to complete all work in a workmanlike manner, as described in the Bidding documents.

Base Bid

The Base Bid shall consist of all of the work described in Section 01 1000 Summary and contained in the Construction Documents.

Total Base Bid: Lump sum for all labor, materials, and equipment as stipulated in the Bidding Documents, written in **numbers**.

Total Base Bid: Lump sum for all labor, materials, and equipment as stipulated in the Bidding Documents, written in **words**.

**Canaan Valley Resort State Park
Lodge Renovation and Guest Room Construction
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DIVISION OF NATURAL RESOURCES

FORM OF PROPOSAL-2

Alternate Bids

The Alternate Bids shall consist of all of the work described in Section 01 2300 Alternates.

Total Alternate No. 1 Bid:
(Existing Mechanical System)
Lump sum for all labor,
materials, and equipment as
stipulated in the Bidding
Documents, written in
numbers.

--

Total Alternate No. 1 Bid:
(Existing Mechanical System)
Lump sum for all labor,
materials, and equipment as
stipulated in the Bidding
Documents, written in **words**.

--

Total Alternate No. 2 Bid:
(Loading Dock) Lump sum for
all labor, materials, and
equipment as stipulated in
the Bidding Documents,
written in **numbers**.

--

Total Alternate No. 2 Bid:
(Loading Dock) Lump sum for
all labor, materials, and
equipment as stipulated in
the Bidding Documents,
written in **words**.

--

Total Alternate No. 3 Bid:
(Siding at Existing Building)
Lump sum for all labor,
materials, and equipment as
stipulated in the Bidding
Documents, written in
numbers.

--

Total Alternate No. 3 Bid:
(Siding at Existing Building)
Lump sum for all labor,
materials, and equipment as
stipulated in the Bidding
Documents, written in **words**.

--

**Canaan Valley Resort State Park
Lodge Renovation and Guest Room Construction
General Construction Contract**

DIVISION OF NATURAL RESOURCES

FORM OF PROPOSAL-3

Total Alternate No. 4 Bid:
(Public Lobby Finishes)
Lump sum for all labor,
materials, and equipment as
stipulated in the Bidding
Documents, written in
numbers.

--

Total Alternate No. 4 Bid:
(Public Lobby Finishes)
Lump sum for all labor,
materials, and equipment as
stipulated in the Bidding
Documents, written in **words**.

--

Unit Prices

The following are Unit Prices for specific portions of the Work as listed. The following is the list of Unit Prices:

Base Bid shall include floor preparation for 'Slab on Grade with new finishes'. Floor preparation be as defined by the following Specification Sections:

- 09-6500 Resilient Flooring – paragraph 3.01(D)
- 09-6800 Carpeting-3.01 – paragraph 3.01(B)

Provide Unit Price for floor preparation as follows:

All Unit Price shall include Overhead, Profit, Taxes, Bonds, etc.

- Unit price to ADD Floor preparation as defined is \$_____ per square foot.
- Unit price to DEDUCT Floor preparation as defined is \$_____ per square foot.

The bidder understands that to the extent allowed by the West Virginia Code, the Owner reserves the right to waive any informality or irregularity in any Bid, or Bids, and to reject any or all Bids in whole or in part; to reject a bid not accompanied by the required bid security or by other data required by the Bidding Documents; to reject any condition of the bid by the Bidder that is in any way inconsistent with the requirements, terms and conditions of the Bidding Documents; or to reject a bid that is in any way incomplete or irregular.

The Bidder, if successful and awarded the contract by March 31, 2012, agrees that all work is to be substantially complete within **500** consecutive calendar days following receipt of the Owner's written Notice to Proceed or not later than August 16, 2013. For each calendar day of delay in achieving completion, the Contractor shall be liable for, and shall pay the Owner liquidated damages in the amount of \$1,000 per day.

Any work performed or any materials contracted for prior to the receipt of the Owner's written Notice to Proceed, shall be at the Bidder's risk.

**Canaan Valley Resort State Park
Lodge Renovation and Guest Room Construction
General Construction Contract**

DIVISION OF NATURAL RESOURCES

FORM OF PROPOSAL-4

PROGRESS PAYMENTS - The CONTRACTOR will make current estimates in writing once each month on AIA Forms G702 and G703 on or before the date set by the OWNER at the time of starting the WORK. The progress payments shall be a true estimate of the materials complete in place and the amount of WORK performed in accordance with the CONTRACT during the preceding month and the value thereof figured at the CONTRACT unit prices or based on the approved schedule of value. Should there be any doubt of the OWNER as to the integrity of any part of the COMPLETED work, the estimates for that portion will not be allowed modified by the CONTRACTOR accordingly. CONTRACTOR shall submit evidence to document the extent of progress payments as required by the OWNER.

Progress payments will not be made when the total value of the WORK done since the last estimate amounts to less than Five Hundred Dollars (\$500.00). From the total of the amounts ascertained as payable, an amount equivalent to and in accordance with Article 9 of A201-2007 Supplementary Conditions of the State of West Virginia will be deducted and retained by the OWNER until completion of the entire CONTRACT in an acceptable manner. The balance, less all previous payments, will be certified for payment by the OWNER.

When the WORK under contract has been completed and its acceptance is recommended by the OWNER, the retainage shall be released and paid to the CONTRACTOR.

ADDENDUM ACKNOWLEDGEMENT

I hereby acknowledge receipt of the following checked addendum and have made the necessary revisions to my bid or proposal.

Addendum No.	Date

I understand that failure to confirm the receipt of the Addendum is cause for rejection of my bid or proposal.

**Canaan Valley Resort State Park
Lodge Renovation and Guest Room Construction
General Construction Contract**

DIVISION OF NATURAL RESOURCES

FORM OF PROPOSAL-5

Respectfully submitted:

Date:

WV Vendor
Registration Number:

By: (signature in ink)

Title:

Firm Name:

Firm Address:

SECTION 05 5500.01 – SITE METAL FABRICATIONS

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
 - 1. Metal bollards.
 - 2. Downspout guards.
 - 3. Abrasive metal nosings treads and thresholds.
 - 4. Anchor bolts, steel pipe sleeves, slotted-channel inserts, and wedge-type inserts indicated to be cast into concrete or built into unit masonry.

1.2 ACTION SUBMITTALS

- A. Product Data: For the following:
 - 1. Metal nosings and treads.
 - 2. Paint products.
 - 3. Grout.
- B. Shop Drawings: Show fabrication and installation details for metal fabrications.
 - 1. Include plans, elevations, sections, and details of metal fabrications and their connections. Show anchorage and accessory items.
- C. Samples: For each type and finish of extruded nosing and tread.
- D. Delegated-Design Submittal: For installed products indicated to comply with performance requirements and design criteria, including analysis data signed and sealed by the qualified professional engineer responsible for their preparation.

PART 2 - PRODUCTS

2.1 METALS, GENERAL

- A. Metal Surfaces, General: Provide materials with smooth, flat surfaces without blemishes.

2.2 FERROUS METALS

- A. Steel Plates, Shapes, and Bars: ASTM A 36/A 36M.
- B. Stainless-Steel Bars and Shapes: ASTM A 276, Type 304.
- C. Steel Tubing: ASTM A 500, cold-formed steel tubing.

- D. Steel Pipe: ASTM A 53/A 53M, standard weight (Schedule 40) unless otherwise indicated.
- E. Slotted Channel Framing: Cold-formed metal box channels (struts) complying with MFMA-4.
 - 1. Size of Channels: As indicated.
 - 2. Material: Galvanized steel, ASTM A 653/A 653M, commercial steel, Type B, with G90 coating; 0.108-inch nominal thickness.
 - 3. Material: Cold-rolled steel, ASTM A 1008/A 1008M, commercial steel, Type B; 0.0966-inch minimum thickness; hot-dip galvanized after fabrication.
- F. Cast Iron: Either gray iron, ASTM A 48/A 48M, or malleable iron, ASTM A 47/A 47M.

2.3 NONFERROUS METALS

- A. Aluminum Extrusions: ASTM B 221, Alloy 6063-T6.
- B. Aluminum-Alloy Rolled Tread Plate: ASTM B 632/B 632M, Alloy 6061-T6.
- C. Aluminum Castings: ASTM B 26/B 26M, Alloy 443.0-F.
- D. Bronze Extrusions: ASTM B 455, Alloy UNS No. C38500 (extruded architectural bronze).
- E. Bronze Castings: ASTM B 584, Alloy UNS No. C83600 (leaded red brass) or No. C84400 (leaded semired brass).
- F. Nickel Silver Castings: ASTM B 584, Alloy UNS No. C97600 (20 percent leaded nickel bronze).

2.4 FASTENERS

- A. General: Unless otherwise indicated, provide Type 304 stainless-steel fasteners for exterior use and zinc-plated fasteners with coating complying with ASTM B 633 or ASTM F 1941, Class Fe/Zn 5, at exterior walls.
 - 1. Provide stainless-steel fasteners for fastening aluminum.
 - 2. Provide stainless-steel fasteners for fastening stainless steel.
 - 3. Provide stainless-steel fasteners for fastening nickel silver.
 - 4. Provide bronze fasteners for fastening bronze.
- B. Cast-in-Place Anchors in Concrete: Either threaded type or wedge type unless otherwise indicated; galvanized ferrous castings, either ASTM A 47/A 47M malleable iron or ASTM A 27/A 27M cast steel. Provide bolts, washers, and shims as needed, all hot-dip galvanized per ASTM F 2329.
- C. Post-Installed Anchors: Torque-controlled expansion anchors.
 - 1. Material for Exterior Locations and Where Stainless Steel is Indicated: Alloy Group 1 stainless-steel bolts, ASTM F 593, and nuts, ASTM F 594.
- D. Slotted-Channel Inserts: Cold-formed, hot-dip galvanized-steel box channels (struts) complying with MFMA-4, 1-5/8 by 7/8 inches by length indicated with anchor straps or studs not less than

3 inches long at not more than 8 inches o.c. Provide with temporary filler and tee-head bolts, complete with washers and nuts, all zinc-plated to comply with ASTM B 633, Class Fe/Zn 5, as needed for fastening to inserts.

2.5 MISCELLANEOUS MATERIALS

- A. Shop Primers: Provide primers that comply with Section 09 9113 "Exterior Painting," Section 09 9123 "Interior Painting," and Section 09 9600 "High-Performance Coatings."
- B. Universal Shop Primer: Fast-curing, lead- and chromate-free, universal modified-alkyd primer complying with MPI#79 and compatible with topcoat.
- C. Epoxy Zinc-Rich Primer: Complying with MPI#20 and compatible with topcoat.
- D. Galvanizing Repair Paint: High-zinc-dust-content paint complying with SSPC-Paint 20 and compatible with paints specified to be used over it.
- E. Bituminous Paint: Cold-applied asphalt emulsion complying with ASTM D 1187.
- F. Nonshrink, Nonmetallic Grout: Factory-packaged, nonstaining, noncorrosive, nongaseous grout complying with ASTM C 1107. Provide grout specifically recommended by manufacturer for interior and exterior applications.
- G. Concrete: Comply with requirements in Section 03 3000 "Cast-in-Place Concrete" for normal-weight, air-entrained, concrete with a minimum 28-day compressive strength of 3000 psi.

2.6 FABRICATION, GENERAL

- A. Shop Assembly: Preassemble items in the shop to greatest extent possible. Use connections that maintain structural value of joined pieces.
- B. Cut, drill, and punch metals cleanly and accurately. Remove burrs and ease edges. Remove sharp or rough areas on exposed surfaces.
- C. Weld corners and seams continuously to comply with the following:
 - 1. Use materials and methods that minimize distortion and develop strength and corrosion resistance of base metals.
 - 2. Obtain fusion without undercut or overlap.
 - 3. Remove welding flux immediately.
 - 4. At exposed connections, finish exposed welds and surfaces smooth and blended.
- D. Form exposed connections with hairline joints, flush and smooth, using concealed fasteners or welds where possible. Locate joints where least conspicuous.
- E. Fabricate seams and other connections that will be exposed to weather in a manner to exclude water. Provide weep holes where water may accumulate.

- F. Where units are indicated to be cast into concrete or built into masonry, equip with integrally welded steel strap anchors not less than 24 inches o.c.

2.7 METAL BOLLARDS

- A. Fabricate metal bollards from Schedule 40 steel pipe 1/4-inch wall-thickness rectangular steel tubing steel shapes, as indicated.
 - 1. Cap bollards with 1/4-inch- thick steel plate.
- B. Fabricate bollards with 3/8-inch- thick steel baseplates for bolting to concrete slab. Drill baseplates at all four corners for 3/4-inch anchor bolts.
- C. Fabricate sleeves for bollard anchorage from steel pipe with 1/4-inch- thick steel plate welded to bottom of sleeve.
- D. Prime bollards with zinc-rich primer.

2.8 DOWNSPOUT GUARDS

- A. Fabricate downspout guards from 3/8-inch- thick by 12-inch- wide steel plate, bent to fit flat against the wall or column at both ends and to fit around pipe with 2-inch clearance between pipe and pipe guard. Drill each end for two 3/4-inch anchor bolts.
- B. Galvanize downspout guards.
- C. Prime downspout guards with zinc-rich primer.

2.9 ABRASIVE METAL NOSINGS TREADS AND THRESHOLDS

- A. Cast-Metal Units: Cast aluminum bronze (leaded red or semired brass) nickel silver (leaded nickel bronze), with an integral-abrasive, as-cast finish.
 - 1. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
 - a. American Safety Tread Co., Inc.
 - b. Balco Inc.
 - c. Barry Pattern & Foundry Co., Inc.
 - d. Granite State Casting Co.
 - e. Safe-T-Metal Company, Inc.
 - f. Wooster Products Inc.
- B. Extruded Units: Aluminum, with abrasive filler in an epoxy-resin binder.
 - 1. Manufacturers: Subject to compliance with requirements, provide products by one of the following:

- a. ACL Industries, Inc.
- b. American Safety Tread Co., Inc.
- c. Amstep Products.
- d. Armstrong Products, Inc.
- e. Balco Inc.
- f. Granite State Casting Co.
- g. Wooster Products Inc.

- 2. Provide ribbed units, with abrasive filler strips projecting 1/16 inch above aluminum extrusion.
- 3. Provide solid-abrasive-type units without ribs.
- C. Provide anchors for embedding units in concrete, either integral or applied to units, as standard with manufacturer.
- D. Drill for mechanical anchors and countersink. Locate holes not more than 4 inches from ends and not more than o.c.
- E. Apply bituminous paint to concealed surfaces of cast-metal units.
- F. Apply clear lacquer to concealed surfaces of extruded units.

2.10 LOOSE BEARING AND LEVELING PLATES

- A. Provide loose bearing and leveling plates for steel items bearing on masonry or concrete construction. Drill plates to receive anchor bolts and for grouting.

2.11 LOOSE STEEL LINTELS

- A. Fabricate loose steel lintels from steel angles and shapes of size indicated for openings and recesses in masonry walls and partitions at locations indicated.
- B. Galvanize loose steel lintels located in exterior walls.
- C. Prime loose steel lintels located in exterior walls with zinc-rich primer.

2.12 STEEL WELD PLATES AND ANGLES

- A. Provide steel weld plates and angles not specified in other Sections, for items supported from concrete construction as needed to complete the Work. Provide each unit with no fewer than two integrally welded steel strap anchors for embedding in concrete.

2.13 FINISHES, GENERAL

- A. Comply with NAAMM's "Metal Finishes Manual for Architectural and Metal Products" for recommendations for applying and designating finishes.

- B. Finish metal fabrications after assembly.

2.14 STEEL AND IRON FINISHES

- A. Galvanizing: Hot-dip galvanize items as indicated to comply with ASTM A 153/A 153M for steel and iron hardware and with ASTM A 123/A 123M for other steel and iron products.
- B. Shop prime iron and steel items not indicated to be galvanized unless they are to be embedded in concrete, sprayed-on fireproofing, or masonry, or unless otherwise indicated.
 - 1. Shop prime with zinc-rich primer is indicated.
- C. Preparation for Shop Priming: Prepare surfaces to comply with SSPC-SP 6/NACE No. 3, "Commercial Blast Cleaning."
- D. Shop Priming: Apply shop primer to comply with SSPC-PA 1, "Paint Application Specification No. 1: Shop, Field, and Maintenance Painting of Steel," for shop painting.

PART 3 - EXECUTION

3.1 INSTALLATION, GENERAL

- A. Cutting, Fitting, and Placement: Perform cutting, drilling, and fitting required for installing metal fabrications. Set metal fabrications accurately in location, alignment, and elevation; with edges and surfaces level, plumb, true, and free of rack; and measured from established lines and levels.
- B. Fit exposed connections accurately together to form hairline joints. Weld connections that are not to be left as exposed joints but cannot be shop welded because of shipping size limitations. Do not weld, cut, or abrade surfaces of exterior units that have been hot-dip galvanized after fabrication and are for bolted or screwed field connections.
- C. Field Welding: Comply with the following requirements:
 - 1. Use materials and methods that minimize distortion and develop strength and corrosion resistance of base metals.
 - 2. Obtain fusion without undercut or overlap.
 - 3. Remove welding flux immediately.
 - 4. At exposed connections, finish exposed welds and surfaces smooth and blended.
- D. Fastening to In-Place Construction: Provide anchorage devices and fasteners where metal fabrications are required to be fastened to in-place construction.
- E. Provide temporary bracing or anchors in formwork for items that are to be built into concrete, masonry, or similar construction.

3.2 INSTALLING METAL BOLLARDS

- A. Fill metal-capped bollards solidly with concrete and allow concrete to cure seven days before installing.
- B. Anchor bollards to existing construction with expansion anchors anchor bolts, or through bolts. Provide four bolts at each bollard unless otherwise indicated.
- C. Anchor bollards in concrete with pipe sleeves preset and anchored into concrete. Fill annular space around bollard solidly with nonshrink, nonmetallic grout.
- D. Anchor bollards in place with concrete footings. Place concrete and vibrate or tamp for consolidation. Support and brace bollards in position until concrete has cured.
- E. Fill bollards solidly with concrete, mounding top surface to shed water.

3.3 INSTALLING BEARING AND LEVELING PLATES

- A. Clean concrete and masonry bearing surfaces of bond-reducing materials, and roughen to improve bond to surfaces. Clean bottom surface of plates.
- B. Set bearing and leveling plates on wedges, shims, or leveling nuts. After bearing members have been positioned and plumbed, tighten anchor bolts. Do not remove wedges or shims but, if protruding, cut off flush with edge of bearing plate before packing with grout.
- C. Pack grout solidly between bearing surfaces and plates to ensure that no voids remain.

3.4 ADJUSTING AND CLEANING

- A. Touchup Painting: Immediately after erection, clean field welds, bolted connections, and abraded areas. Paint uncoated and abraded areas with the same material as used for shop painting to comply with SSPC-PA 1 for touching up shop-painted surfaces.
- B. Galvanized Surfaces: Clean field welds, bolted connections, and abraded areas and repair galvanizing to comply with ASTM A 780.

END OF SECTION 05 5000

SECTION 07 4646

FIBER CEMENT SIDING

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Wood-fiber cement siding and trim.

1.02 RELATED REQUIREMENTS

- A. Section 05 4000 (05400) - Cold-Formed Metal Framing: Siding substrate.
- B. Section 07 9005 (07900) - Joint Sealers.

1.03 REFERENCE STANDARDS

- A. ASTM B 221 - Standard Specification for Aluminum and Aluminum-Alloy Extruded Bars, Rods, Wire, Profiles, and Tubes; 2008.
- B. ASTM C 1186 - Standard Specification for Flat Non-Asbestos Fiber Cement Sheets; 2002.

1.04 SUBMITTALS

- A. See Section 01 3000 (01300) - Administrative Requirements, for submittal procedures.
- B. Product Data: Manufacturer's data sheets on each product to be used, including:
 - 1. Manufacturer's requirements for related materials to be installed by others.
 - 2. Preparation instructions and recommendations.
 - 3. Storage and handling requirements and recommendations.
 - 4. Installation methods, including nail patterns.
- C. Test Report: Applicable model code authority evaluation report (e.g. ICC-ES).
- D. Maintenance Instructions: Periodic inspection recommendations and maintenance procedures.
- E. Warranty: Submit copy of manufacturer's warranty, made out in Owner's name, showing that it has been registered with manufacturer.

1.05 QUALITY ASSURANCE

- A. Installer Qualifications: Company specializing in performing work of the type specified in this section with minimum 5 years of experience.
- B. Installer Qualifications: Minimum of 2 years experience with installation of similar products and listed by manufacturer as a 'Preferred Installation Company'.

1.06 WARRANTY

- A. Workmanship Warranty: Application limited warranty for 2 years.
- B. Product Warranty: Warranty Period is listed below in PART 2 with each product.

1.07 PROJECT CONDITIONS

- A. Maintain environmental conditions (temperature, humidity, and ventilation) within limits recommended by manufacturer for optimum results. Do not install products under environmental conditions outside manufacturer's absolute limits.

1.08 DELIVERY, STORAGE, AND HANDLING

- A. Store products under waterproof cover and elevated above grade, on a flat surface.
- B. Protect edges and corners from chipping.
- C. Store products in manufacturer's unopened packaging until ready for installation.

PART 2 PRODUCTS

2.01 SIDING

- A. Lap Siding: Individual horizontal boards made of cement and cellulose fiber formed under high pressure with integral surface texture, complying with ASTM C 1186 Type A Grade II; with machined edges, for nail attachment.
 - 1. Style: Standard lap style.
 - 2. Texture: Simulated cedar grain.
 - 3. Length: 12 ft (3.7 m), nominal.
 - 4. Width (Height): 9-1/4 inches (235 mm).
 - 5. Thickness: 5/16 inch (8 mm), nominal.
 - 6. Finish: Factory applied topcoat.
 - 7. Color: As selected by Architect from manufacturers full range of available colors.
 - 8. Warranty: 50 year limited; transferable.
 - 9. Lap Siding Manufacturers:
 - a. CertainTeed Corporation: www.certainteed.com.
 - b. James Hardie Building Products, Inc: www.jameshardie.com.
 - c. Nichiha Fiber Cement: www.nichiha.com.
 - d. Substitutions: See Section 01 6000 (01600) - Product Requirements.
- B. Cementitious Panels: Panels made of cement and cellulose fiber formed under high pressure with integral surface texture, complying with ASTM C 1186 Type A Grade II; with machined edges, for attachment.
 - 1. Texture: Smooth.
 - 2. Length (Height): 95 1/2 inches (2426 mm), nominal.
 - 3. Width: 47 1/2 inches (1206 mm).
 - 4. Thickness: 5/16 inch (8 mm), nominal.
 - 5. Finish: Factory applied topcoat.
 - 6. Color: As selected by Architect from manufacturers full range of available colors.
 - 7. Warranty: 30 year limited; transferable.
 - 8. Panel Siding Manufacturers:
 - a. CertainTeed Corporation: www.certainteed.com.
 - b. James Hardie Building Products, Inc: www.jameshardie.com.
 - c. Nichiha Fiber Cement: www.nichiha.com.
 - d. Substitutions: See Section 01 6000 (01600) - Product Requirements.
- C. Soffit Panels: Panels made of cement and cellulose fiber formed under high pressure with integral surface texture, complying with ASTM C 1186 Type A Grade II; with machined edges, for nail attachment.
 - 1. Texture: Smooth. Use vented panels as indicated.
 - 2. Length: 96 inches (2400 mm), nominal.
 - 3. Width: 48 inches (1220 mm).
 - 4. Thickness: 5/16 inch (8 mm), nominal.
 - 5. Finish: Factory applied topcoat.
 - 6. Color: As selected by Architect from manufacturers full range of available colors.
 - 7. Manufacturer: Same as siding.

2.02 ACCESSORIES

- A. Furring Strips: manufacturer standard Batten Boards, Smooth.
- B. Trim: smooth.
 - 1. Thickness: 1 inch.
 - 2. Width: 5 1/2 inches or as indicated on drawings.
 - 3. Finish: Factory applied topcoat.
 - 4. Color: As selected by Architect from manufacturers full range of available colors.
- C. Screw Fasteners: Stainless Steel; length as required to penetrate minimum 1-1/4 inch (32 mm).
- D. Exterior Soffit Vents: One piece, perforated, ASTM B 221 6063 T5 alloy aluminum, with edge suitable for direct application to gypsum board and manufactured especially for soffit application. Provide

- continuous vent.
- E. Cavity vent Strip: As recommended by manufacturer (Tamlyn, PVC Vent Strip).
- F. Joint Sealer: As specified in Section 07 9005 (07900).
- G. Protection Membrane: Self-adhering polymer-modified asphalt sheet complying with ASTM D 1970; 40 mil (1 mm) total thickness; with strippable treated release paper and polyethylene sheet top surface.
- H. Drainage Mat: Shall be Delta-Dry or equivalent as recommended by siding manufacturers.

PART 3 EXECUTION

3.01 PREPARATION

- A. Examine substrate and clean and repair as required to eliminate conditions that would be detrimental to proper installation.
- B. Verify that water-resistive barrier has been installed over substrate completely and correctly.
- C. Do not begin until unacceptable conditions have been corrected.
- D. If substrate preparation is the responsibility of another installer, notify Architect of unsatisfactory preparation before proceeding.

3.02 PREPARATION

- A. Install sheet metal flashing:
 1. Above door and window trim and casings.
 2. Above horizontal trim in field of siding.

3.03 INSTALLATION

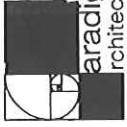
- A. Install in accordance with manufacturer's instructions and recommendations.
 1. Read warranty and comply with all terms necessary to maintain warranty coverage.
 2. Install in accordance with conditions stated in model code evaluation report applicable to location of project.
 3. Use trim details indicated on drawings.
 - a. Joints in vertical trim shall be cut at 45 degree angle.
 4. Touch up all field cut edges before installing.
 5. Pre-drill nail holes if necessary to prevent breakage.
- B. Over Foam Sheathing: Read and comply with sheathing manufacturer's recommendations.
 1. For sheathing of 1 inch (25 mm) thickness or less, screw through sheathing into studs using correspondingly longer screws.
 2. For sheathing over 1 inch (25 mm) thickness, install furring strips over studs and fasten siding through furring and into studs.
- C. Over Steel Studs: Use stainless steel self-tapping screws, with the points of at least 3 screws penetrating each stud the panel crosses and at panel ends.
- D. Panel Installation:
 1. Install materials in strict accordance with manufacturer's installation instructions.
 2. Place fasteners no closer than 3/8 inch (9.5 mm) from panel edges and 2 inches (51 mm) from panel corners.
 3. Install cavity vent strips along the bottom edge of framing or sheathing. Install furring over sheathing attaching to framing members.
 4. Apply caulking over furring. Only apply enough caulking for one panel at a time.
 5. Install first panel at the bottom corner working across and up. Ensure panels are square and level. Fasten bottom half of panel.
 6. Apply caulking to horizontal "T" backing strip and insert over top of panel just installed.
 7. Install second panel using 1/2 inch (13 mm) spacers at vertical joints. Fasten bottom half of second panel and finish attaching first panel.
 8. Install a kickout flashing to deflect water away from the siding at the roof intersection.

9. Install a self-adhering membrane on the wall before the subfascia and trim boards are nailed in place, and then install the kickout.
 10. Allow minimum vertical clearance between the bottom edge of siding and any other material in strict accordance with the manufacturer's installation instructions.
 11. Maintain clearance between siding and adjacent finished grade.
 12. All field cut edges shall be primed or sealed during the installation process using an exterior grade primer or sealer which is compatible with the type of paint to be used.
 13. Specific framing and fastener requirements refer to the applicable building code compliance reports.
- E. Allow space between both ends of siding panels that butt against trim for thermal movement; seal joint between panel and trim with exterior grade sealant.
 - F. Joints in Horizontal Siding: Avoid joints in lap siding except at corners; where joints are inevitable stagger joints between successive courses.
 - G. Joints in Vertical Siding: Install Z-flashing in horizontal joints between successive courses of vertical siding.
 - H. Do not install siding less than 6 inches (150 mm) from surface of ground nor closer than 1 inch (25 mm) to roofs, patios, porches, and other surfaces where water may collect.
 - I. Exterior Soffit Vents: Install according to manufacturer's written instructions and in locations shown on the drawings. Provide vent area specified.
 - J. After installation, seal all joints except lap joints of lap siding. Seal around all penetrations. Paint all exposed cut edges.

3.04 CLEANING AND PROTECTION

- A. Protect installed products until completion of project.
- B. Touch-up, repair or replace damaged products before Substantial Completion.

END OF SECTION



Paradigm
Architecture

2233 Chest Road - Suite 100
Morgantown, WV 26508
tele 304-284-5015 304-284-5014 fax

2458 Valleydale Road - Suite 150
Martinsburg, WV 26154
tele 205-403-2742 205-403-2743 fax

Canaan
Valley Resort
Renovations
and Additions

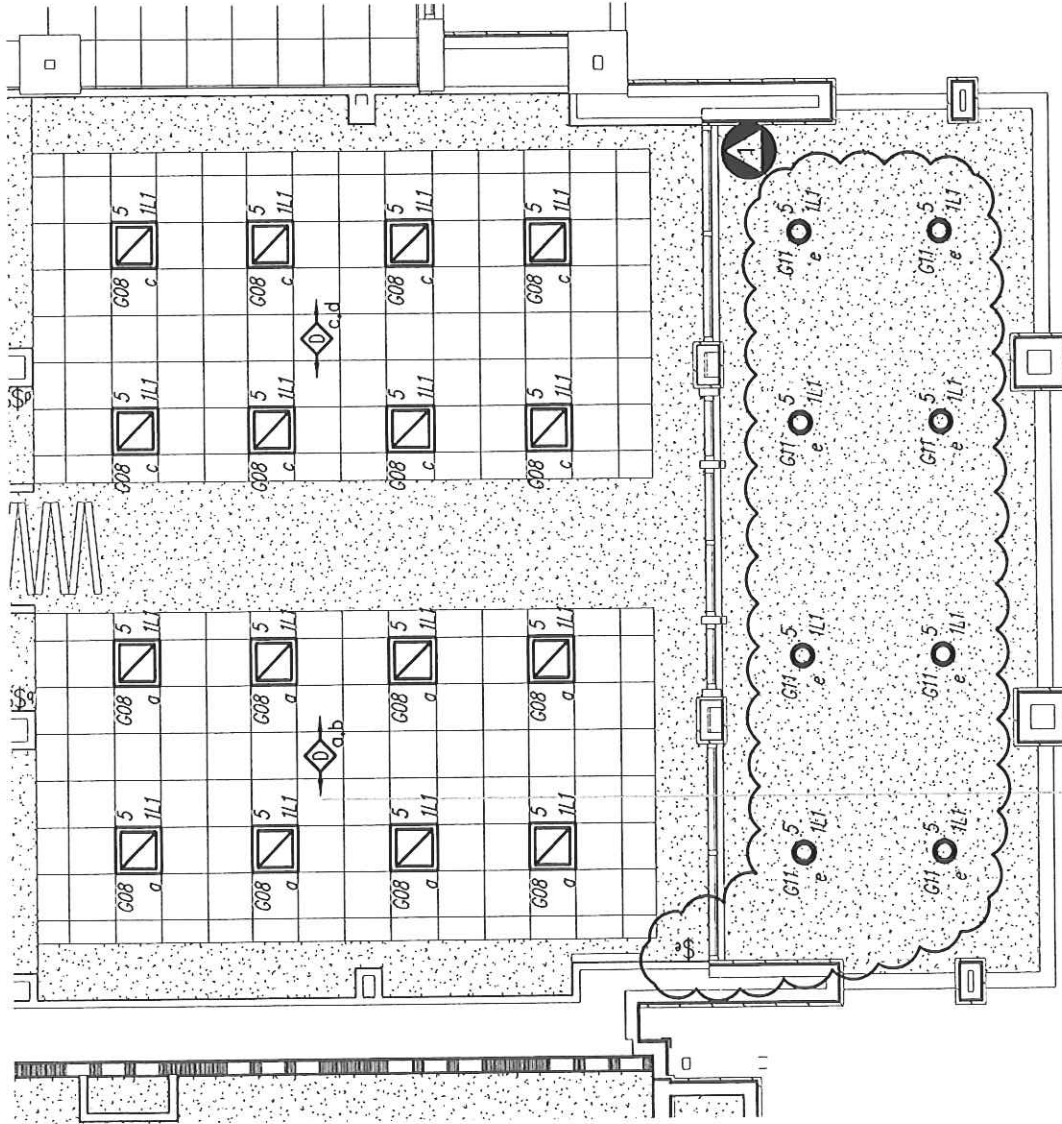
Davis,
West Virginia

job number: 1078
date: 1.10.2012

sheet number:

BD01

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Partial First Floor Plan South Lighting

1/8" = 1'-0"



TOWER ENGINEERING

115 Evergreen Heights Drive, Suite 400
Pittsburgh, Pennsylvania 15229
Phone: (412) 931-8888
Fax: (412) 939-2525

Project Number:
B0091



2525 Central Expressway, Suite 300
Birmingham, AL 35244
Phone: 205-254-2015 Fax: 205-254-2013
2450 Valleydale Road - Suite 100
Birmingham, AL 35244
Phone: 205-109-2742 Fax: 205-403-2742

Canaan
Valley Resort
Renovations
and Additions

Davis,
West Virginia

Job number: 1076
date: 1.10.2012

Sheet number:
BD02

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1

LIGHTING FIXTURE SCHEDULE

	HAZE	RECESSED	PORTFOLIO SPECTRUM OMEGA CALCULITE PRESCOLITE	106132E SERIES SG6H SERIES
G11				
G12	BY ARCH	STANCHION	GARDCO HADCO KIM LITHONIA	DF5 SERIES WB3 SERIES CFL SERIES ASF1 SERIES

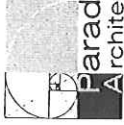
LIGHTING FIXTURE SCHEDULE

	CFTR32/841	4100K	1	HIGH FREQ ELEC	0.98	35W	120/277	CANOPY
1								
1	70W MH		1	ELEC	0.98	90W	120/277	CANOPY/ FLAGPOLE



TOWER ENGINEERING

115 Evergreen Heights Drive, Suite 400
Pittsburgh, Pennsylvania 15229
Phone: (412) 931-8888
Fax: (412) 939-2525
Project Number:
B0091



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Birmingham, AL 35234
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Canaan Valley Resort Renovations and Additions

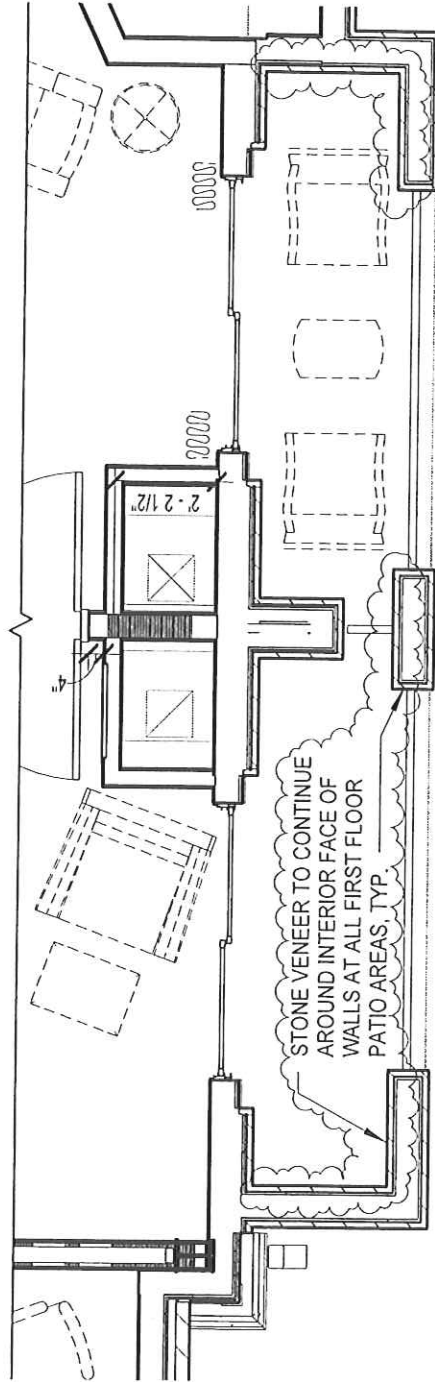
Davis,
West Virginia

job number: 1078

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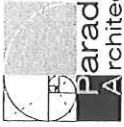
BD03

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1 Typical First Floor Patio Area

1/4" = 1'-0"



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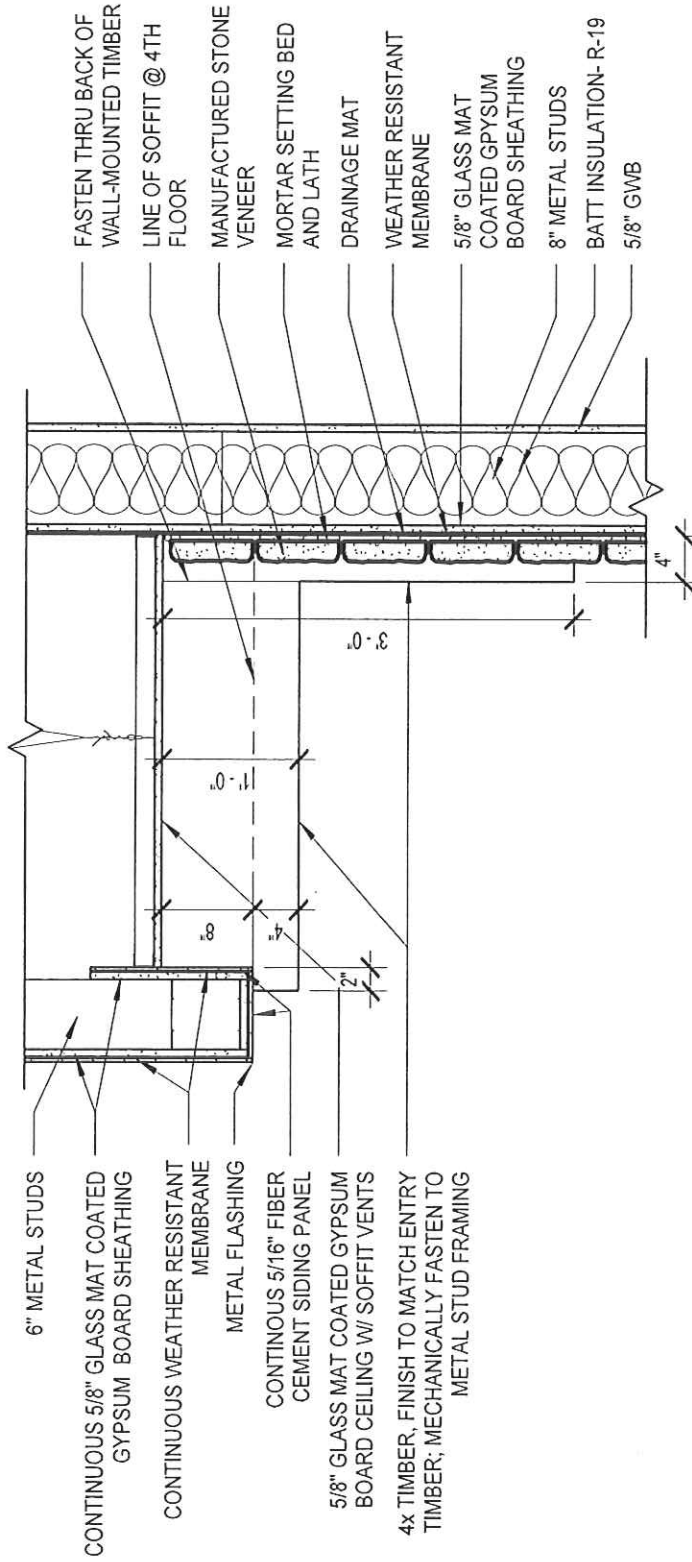
Davis,
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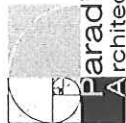
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10A Typical Balcony Bracket
3/4" = 1'-0"

ADD DETAIL 10A TO SHEET A5.03



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**Canaan
Valley Resort
Renovations
and Additions**

**Davis,
West Virginia**

job number: 1078

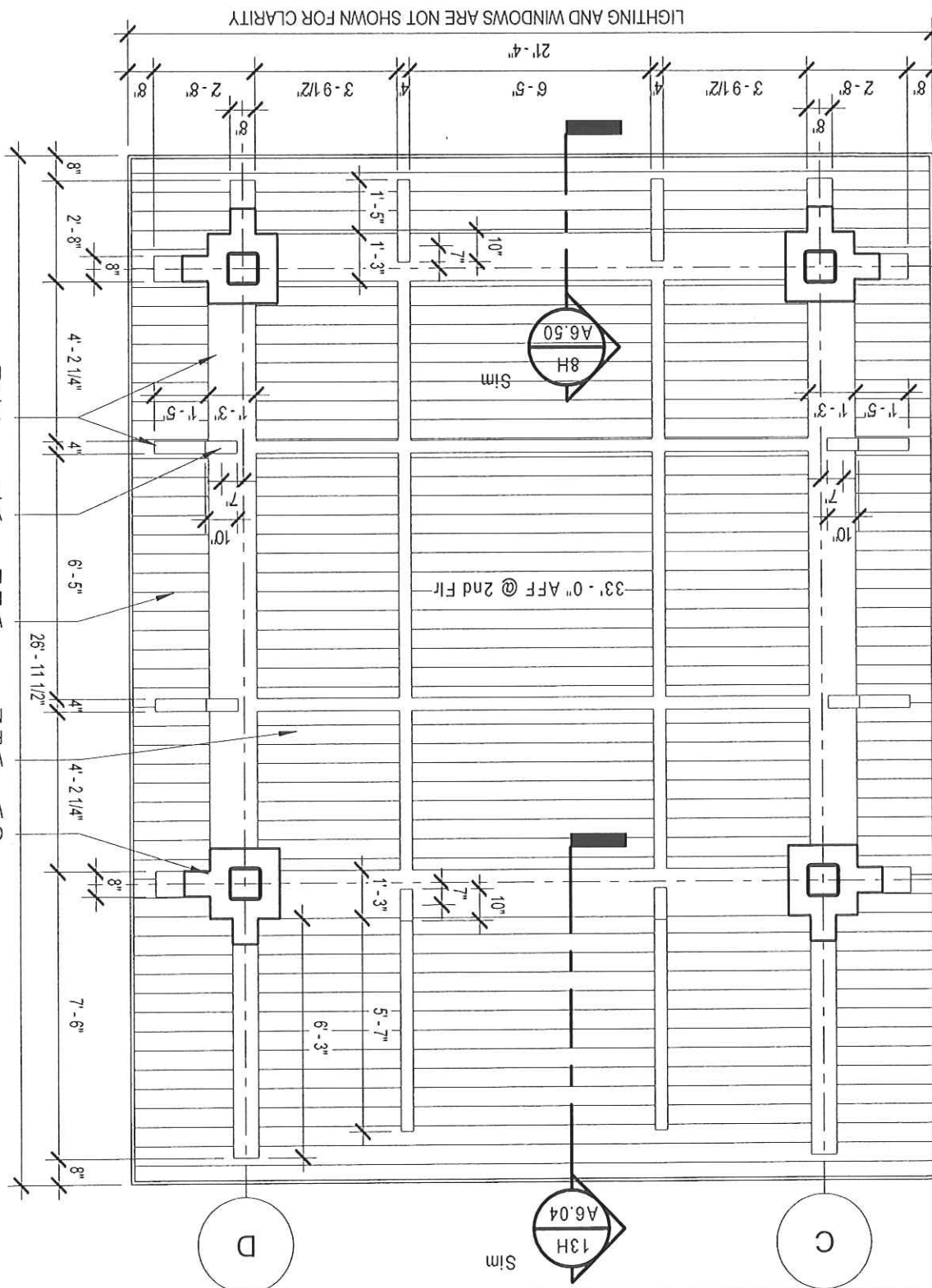
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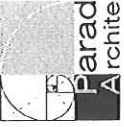
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**ADD DETAIL 5B TO
SHEET A2.68**

COLUMN WRAP, TYP.
WOOD CEILING, FINISH TO MATCH TIMBER
WOOD SOFFIT, FINISH TO MATCH TIMBER
VERTICAL TIMBER, TYP.
16" DEEP TIMBER OR BOX BEAMS, TYP.



5B Enlarged RCP @ Entry Tower
1/4" = 1'-0"

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Canaan Valley Resort Renovations and Additions

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West Virginia

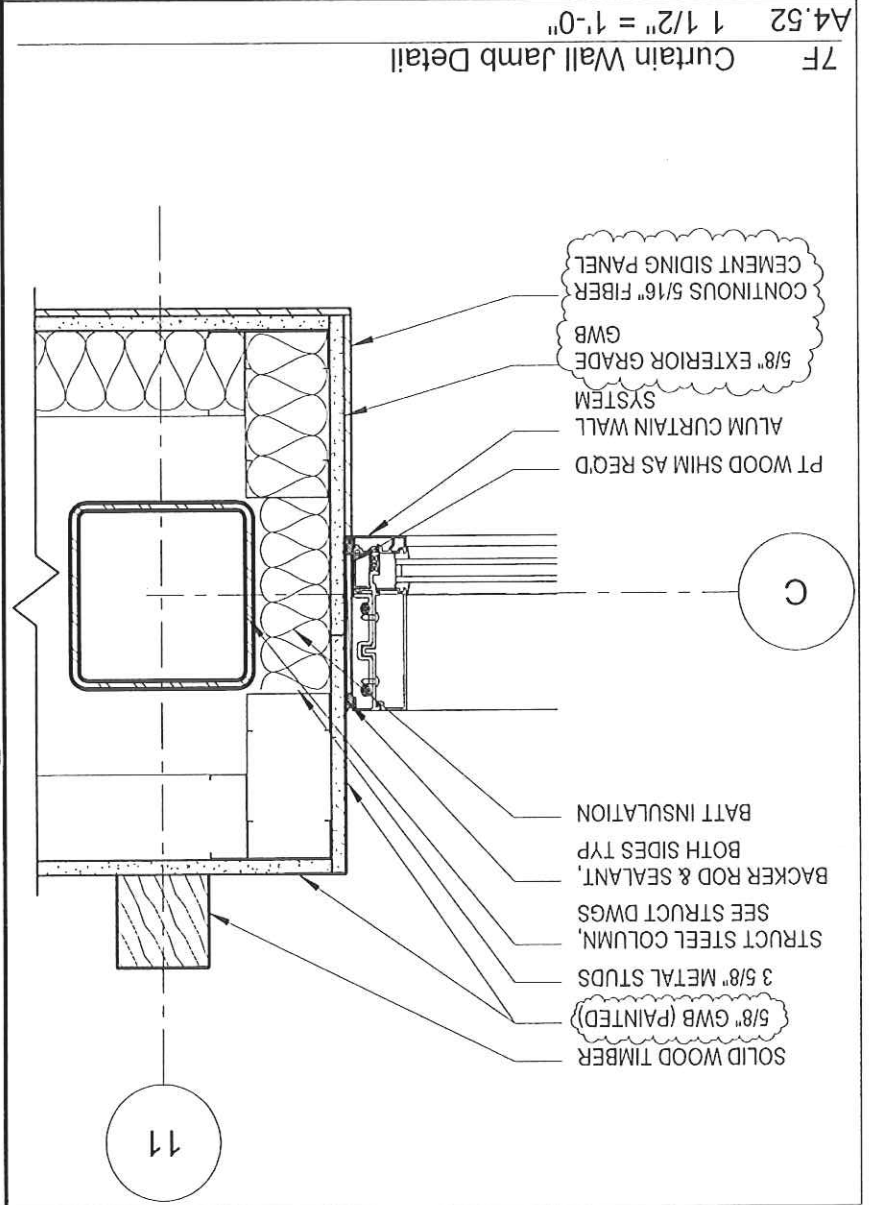
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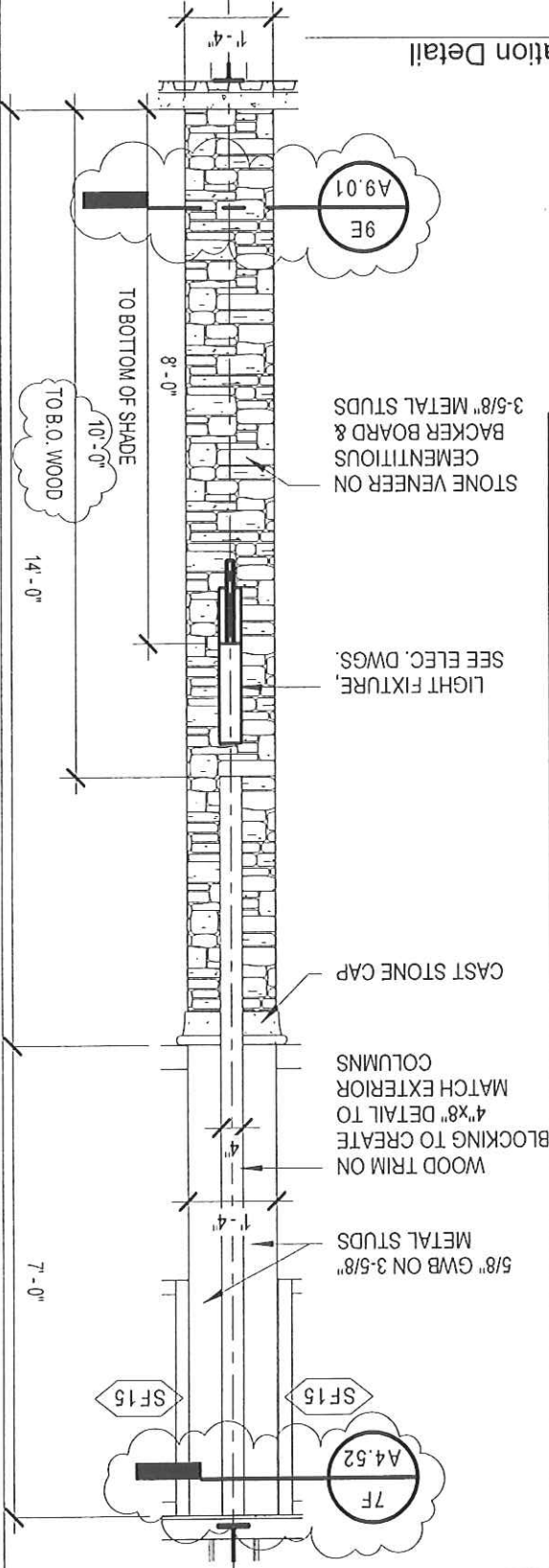
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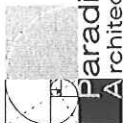
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7F	Curtain Wall Jamb Detail	A4.52	1 1/2" = 1'-0"
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10D	Lobby Column Elevation Detail	A4.01	3/8" = 1'-0"
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sheet number:

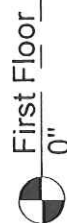
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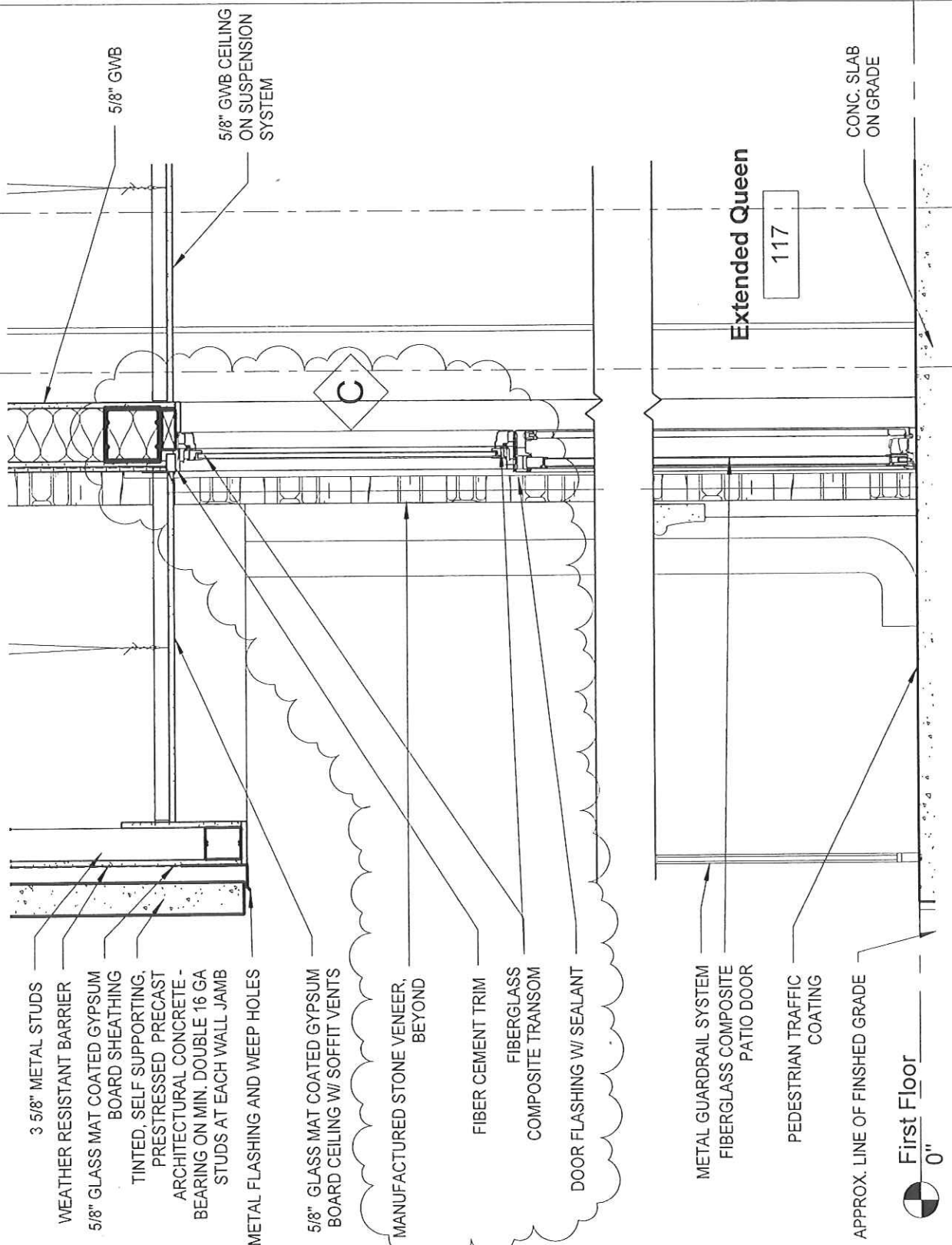
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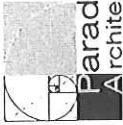
13H Partial Wall Section

A6.11 3/4" = 1'-0"



First Floor





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Valley Resort
Renovations
and Additions**

**Davis,
West Virginia**

job number: 1078

sheet number:

BD08

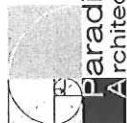
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REPRINT OF TOILET ACCESSORY LEGEND ON A3.01

- NOTES
1. SPECIFIED MANUFACTURER IS LISTED FOR COMPARATIVE PURPOSES ONLY.
OTHER COMPARABLE MANUFACTURERS ARE ACCEPTABLE.
2. FIELD VERIFY ALL DIMENSIONS.
3. SEE PLUMBING DWGS FOR FIXTURE TYPES.
4. INSTALL WOOD BLOCKING AT ALL TOILET ACCESSORIES.
5. SEE SHEET A8.00 FOR TYPICAL ACCESSORY MOUNTING HEIGHTS.

DESIGNATION	DESCRIPTION	MANUFACTURER	MODEL NO.
TA-1	SURFACE MOUNTED 2-ROLL TISSUE DISPENSER	BOBRICK	B-2740
TA-2	TOWEL DISPENSER	BOBRICK	B-4262
TA-3	SOAP DISH	BOBRICK	B-974
TA-4	ROBE HOOK	BOBRICK	B-672
TA-5	SEAT COVER DISPENSER	BOBRICK	B-301
TA-6	STRAIGHT SHOWER ROD	BOBRICK	B-6047
TA-7	CURVED SHOWER ROD	BOBRICK	--
TA-8	42" STAINLESS STEEL GRAB BAR (1 1/4" DIAMETER)	BOBRICK	B-6861 99 SERIES
TA-9	36" STAINLESS STEEL GRAB BAR (1 1/4" DIAMETER)	BOBRICK	B-6861 99 SERIES
TA-10	24" STAINLESS STEEL GRAB BAR (1 1/4" DIAMETER)	BOBRICK	B-6861 99 SERIES
TA-11	18" STAINLESS STEEL GRAB BAR (1 1/4" DIAMETER)	BOBRICK	B-6861 99 SERIES
TA-12	12" STAINLESS STEEL GRAB BAR (1 1/4" DIAMETER)	BOBRICK	B-6861 99 SERIES
TA-13	COMBINATION UTILITY SHELF/MOP & BROOM HOLDER	BOBRICK	B-224
TA-14	FOLDING ADA SHOWER SEAT	BOBRICK	B-5181
TA-15	REMOVABLE ADA SHOWER SEAT	BOBRICK	B-5181
TA-16	TOWEL SHELF	BOBRICK	B-7675
TA-17	SANITARY NAPKIN DISPOSAL UNIT	BOBRICK	B-270
TA-18	FRAMED MIRROR, 18" x 36"	BOBRICK	B-165 1836
TA-19	FRAMED MIRROR, GUEST RM	BOBRICK	SEE FF&E PACKAGE
TA-20	SOAP DISPENSER	BOBRICK	B30-359
TA-21	FOLDING UTILITY SHELF	BOBRICK	B-287
TA-22	ELECTRIC HAND DRYER	BOBRICK	B-750
TA-23	BABY CHANGING STATION	BOBRICK	K8200
TA-24	SHOWER CURTAIN & HOOKS	SEE FF&E PACKAGE	--
TA-25	TOILET TISSUE DISPENSER (GUEST ROOMS)	GATCO	GATCO #4343
TA-26	24" TOWEL BAR	GATCO	GATCO #4340
TA-27	18" TOWEL BAR	GATCO	GATCO #4341
TA-28	ROBE HOOK (GUEST ROOMS)	GATCO	GATCO #4345
TA-29	CORNER SHELF	GATCO	GATCO #1514
TA-30	CORNER SOAP DISH	GATCO	GATCO #1513
TA-31	CURVED SHOWER CURTAIN ROD	TBD	--
TA-32	ADA SEAT	TBD	--

TOILET ACCESSORY LEGEND

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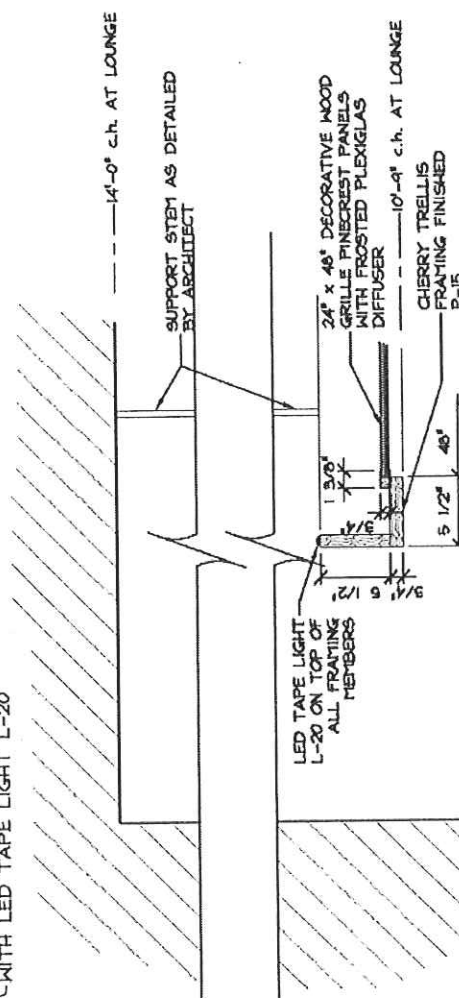
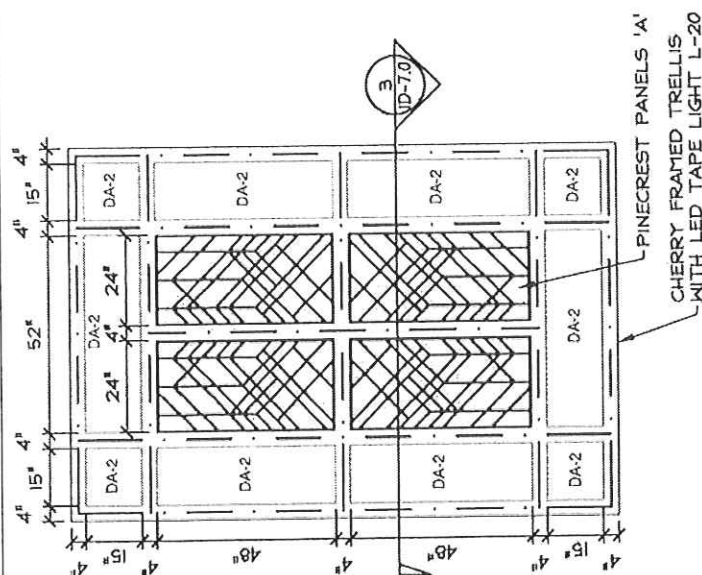
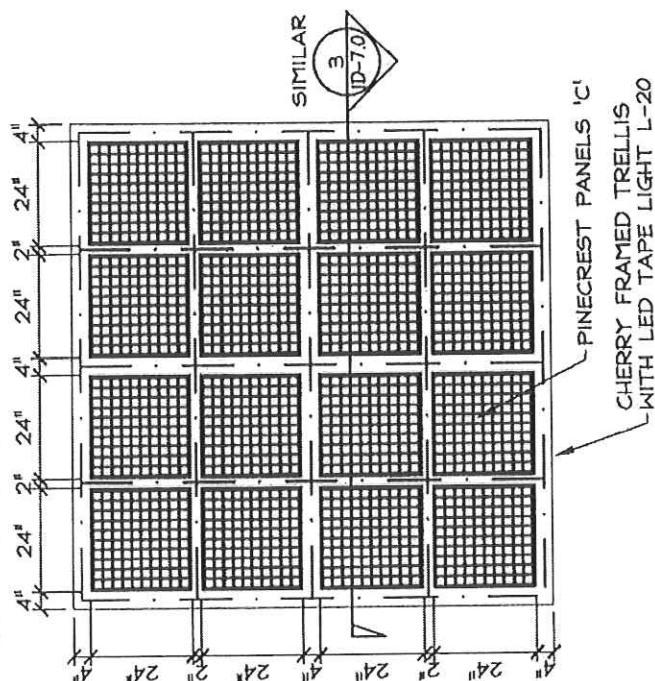
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6009

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THIS DETAIL IS SHOWN FOR CONCEPT PURPOSES ONLY. ARCHITECTS AND ENGINEERS ARE TO DETERMINE CONSTRUCTION METHODS AND SUPPORT ATTACHMENT DETAILS

SUSPENDED TRELLIS

SUSPENDED KELLIS CONCEPT DETAIL

3
ID-7.0