

GENERAL NOTES

- CONTRACTOR SHALL VERIFY DIMENSIONS AND FIELD CONDITIONS, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN CONTRACT DOCUMENTS, AND OBTAIN CLARIFICATION BEFORE PROCEEDING WITH WORK AFFECTED BY THE DISCREPANCIES.
- FOLLOW FIGURED DIMENSIONS, AND DO NOT SCALE CONTRACT DRAWINGS.
- PROVIDE TEMPORARY MARKERS FOR LINES AND LEVELS FOR USE BY ALL TRADES.
- THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH PROJECT SPECIFICATIONS.
- PROVIDE TEMPORARY FENCING AND GATES TO RESTRICT UNAUTHORIZED ACCESS TO THE JOB SITE.
- CONTRACTOR SHALL PROTECT ALL LANDSCAPE FEATURES (INCLUDING BUT NOT LIMITED TO TREES, SHRUBS, RAILINGS, AND WALKWAYS) PRIOR TO COMMENCING WITH WORK. CONTRACTOR SHALL SUBMIT A CONSTRUCTION PLAN REGARDING PROTECTION OF VEGETATION FOR REVIEW AND COORDINATION WITH THE GENERAL SERVICES DEPARTMENT.

REMOVAL NOTES

- CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY, NEATLY AND IN A SYSTEMATIC MANNER.
- ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
- NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
- NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS THE PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
- STRUCTURAL DEMOLITION (IF REQUIRED) MUST BE PERFORMED UNDER STRICT SUPERVISION OF A STRUCTURAL ENGINEER HIRED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK.
- DISCOVERY OF ANY HAZARDOUS MATERIALS SHALL BE CONTAINED OR REMOVED AS REQUIRED BY PROPER AUTHORITIES.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY THE DEPARTMENT OF BUILDINGS' RULES AND REGULATIONS.
- ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS THE DEPARTMENT OF BUILDINGS.

BUILDING DEPARTMENT NOTES

GENERAL DOB NOTES:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH BUILDING REGULATIONS GOVERNING NOISE, WORK HOURS, AND SAFE DISPOSAL OF MATERIALS.
- MAINTAIN PROPER EGRESS FROM THE CONSTRUCTION SITE AT ALL TIMES.
- ALL WORK SHALL BE PERFORMED BY CONTRACTORS LICENSED BY AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND CONTROLLED INSPECTIONS.
- NO WORK AT SITE TO COMMENCE UNTIL PLAN HAS BEEN APPROVED AND PERMIT ISSUED BY DEPARTMENT OF BUILDINGS.

PROTECTION OF EXISTING PROPERTY:

- ADJOINING PROPERTY AFFECTED BY WORK OPERATIONS SHALL BE PROTECTED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION OF CONDITIONS AND MATERIALS WITHIN, AND ADJACENT TO THE PROPOSED CONSTRUCTION AREA.
- THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR CONSTRUCTION AND REMOVAL TASKS. SUBMIT SHORING DRAWINGS SIGNED & STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF WEST VIRGINIA.
- THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR DAMAGE AND INJURIES CAUSED BY, OR DURING THE EXECUTION OF THE WORK.

SCOPE OF WORK:

- MASONRY REPAIRS.
- WOOD RESTORATION.
- SLATE & FLAT SEAM COPPER ROOF REPLACEMENT AND REPAIRS.
- INTERIOR DEMOLITION

SAFETY NOTES

GENERAL :

- DEBRIS, DIRT AND DUST SHALL BE CLEANED UP AND CLEARED FROM BUILDING DAILY TO AVOID EXCESSIVE ACCUMULATION.

EGRESS:

- ALL EXISTING MEANS OF EGRESS FOR THE OCCUPANTS OF THE BUILDINGS SHALL BE MAINTAINED FREE OF ALL OBSTRUCTION SUCH AS BUILDING MATERIAL, TOOLS, ETC.

FIRE SAFETY:

- ALL MATERIALS ARE TO STORED IN AN ORDERLY FASHION AND IN A MANNER TO AVOID CONCENTRATED LOADS ON TO THE BUILDING STRUCTURE.
- ALL FLAMMABLE MATERIAL TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURER'S CONTAINERS. SUCH MATERIALS ARE TO BE KEPT AWAY FROM SOURCES OF HEAT.

ARCHITECTURAL LEGEND

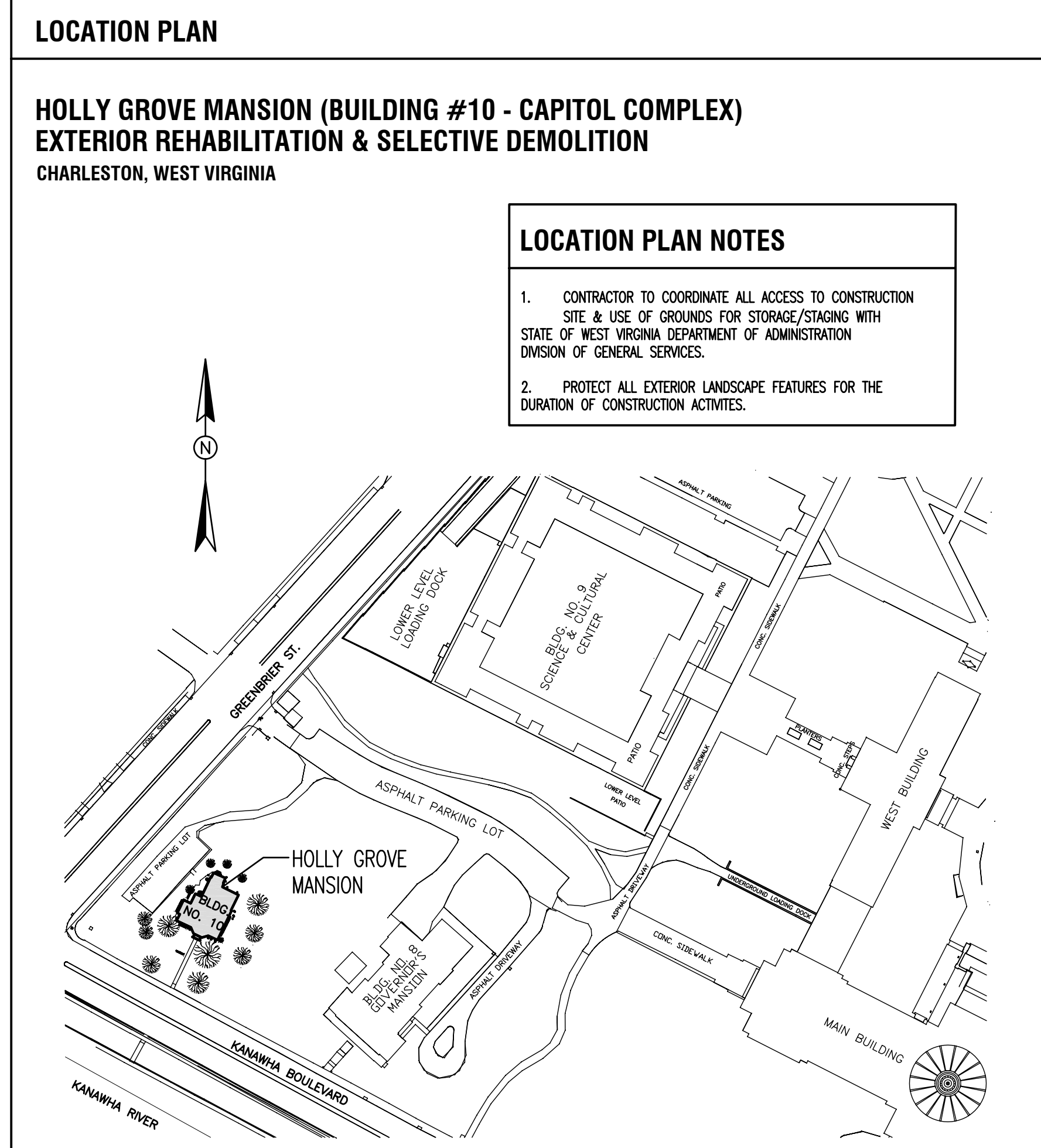
NAME	SYMBOL	DESCRIPTION
ELEVATION TARGET		ELEVATION LETTER DRAWING NUMBER WHERE SHOWN
SECTION TARGET		SECTION NUMBER DRAWING NUMBER WHERE SHOWN
ELEVATION MARK		LOCATION ELEVATION
CENTER LINE		
REVISION ID		
PROPERTY LINE		
AREA OF WORK		DETAIL NUMBER DRAWING NUMBER WHERE SHOWN
WINDOW ID		EXTENT OF WORK

MATERIALS INDICATION

	STONE		STEEL
	BRICK		NEW CONSTRUCTION
	WOOD		PATCH MATERIAL

ABBREVIATIONS

ADD'L	ADDITIONAL	N.I.C.	NOT IN CONTRACT
ADJ.	ADJACENT, ADJUST(ABLE)	NO.	NUMBER
ALT.	ALTERNATE, ALTERNATIVE	N.T.S.	NOT TO SCALE
APPROX.	APPROXIMATE	#	NUMBER
ARCH.	ARCHITECT(URAL)		
AVG.	AVERAGE	O.C.	ON CENTER
L	ANGLE (METAL)	P.L.	PROPERTY LINE
AT		PT.	PAINT
B.O.	BOTTOM OF	PTD.	PAINTED
DEMO.	DEMOLITION, DEMOLISH	QTY.	QUANTITY
DEPT.	DEPARTMENT	RAD.	RADIUS
DET.	DETAIL	RM.	ROOM
DIA.	DIAMETER	R.O.	ROUGH OPENING
DIAG.	DIAGONAL	SF	SQUARE FEET
DN.	DOWN	SI	SQUARE INCH
DR.	DOOR	SIM.	SIMILAR
DWG.	DRAWING	SPEC.	SPECIFICATION
EA.	EACH	S.S.	STAINLESS STEEL
EL.	ELEVATION	STRUC.	STRUCTURAL
ELEC.	ELECTRIC(AL)	T.B.D.	TO BE DETERMINED
EQ.	EQUAL	TYP.	TYPICAL
(E)	EXISTING	U.O.N.	UNLESS OTHERWISE NOTED
EXT.	EXTERIOR	VAR.	VARIES
F.F.	FINISHED FLOOR	V.I.F.	VERIFY IN FIELD
F.F.T.	FINISHED FLOOR TO	W	WIDTH
FL.	FLOOR	W/	WITH
FT.	FOOT, FEET	WD.	WOOD
HT.	HEIGHT		
IN.	INCH(ES)		
LF	LINEAR FEET		
LTG.	LIGHTING		
MAX.	MAXIMUM		
MECH.	MECHANICAL		
MFG.	MANUFACTUR(ING)(ER)		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
MTL.	METAL		



LOCATION PLAN NOTES

- CONTRACTOR TO COORDINATE ALL ACCESS TO CONSTRUCTION SITE & USE OF GROUNDS FOR STORAGE/STAGING WITH STATE OF WEST VIRGINIA DEPARTMENT OF ADMINISTRATION DIVISION OF GENERAL SERVICES.
- PROTECT ALL EXTERIOR LANDSCAPE FEATURES FOR THE DURATION OF CONSTRUCTION ACTIVITIES.

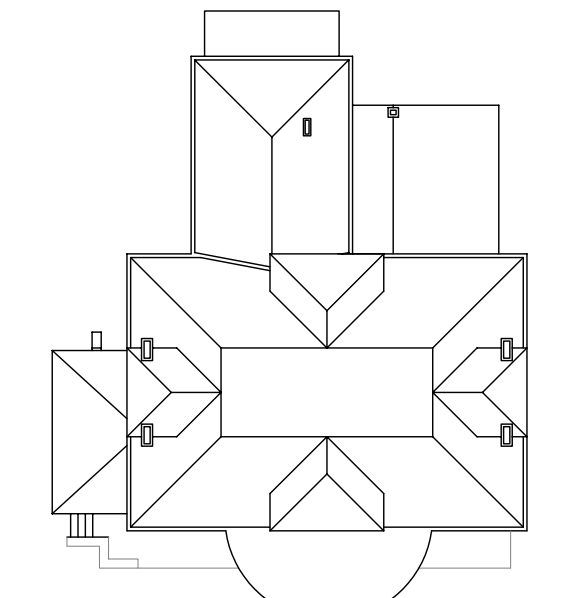
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Key Plan



DRAWING LIST

NO.	DESCRIPTION
T-0	COVER SHEET
T-1	DRAWING LIST, LEGENDS, NOTES & QUANTITY OF REPAIRS
D-101	CELLAR AND FIRST FLOOR SELECTIVE DEMOLITION PLANS
D-102	SECOND AND THIRD FLOOR SELECTIVE DEMOLITION PLANS
D-201	CELLAR AND FIRST FLOOR REFLECTED CEILING SELECTIVE DEMOLITION PLANS
D-202	SECOND AND THIRD FLOOR REFLECTED CEILING SELECTIVE DEMOLITION PLANS
A-100	ROOF PLAN
A-201	SOUTH ELEVATION PORTICO
A-201a	SOUTH ELEVATION
A-202	EAST ELEVATION
A-203	NORTH ELEVATION
A-204	WEST ELEVATION
A-501	REPAIR DETAILS: POINTING, SEALANT & BRICK
A-502	REPAIR DETAILS: BRICK & MASONRY
A-503	REPAIR DETAILS: MASONRY & LINTELS
A-504	REPAIR DETAILS: WOOD TRIM
A-505	REPAIR DETAILS: WOOD TRIM
A-506	REPAIR DETAILS: FLASHING (NOT USED)
A-507	REPAIR DETAILS: FLASHING
A-508	REPAIR DETAILS: ROOFING & FLASHING
MD-101	CELLAR/FIRST FLOOR MECHANICAL DEMOLITION PLANS
MD-102	SECOND/THIRD FLOOR MECHANICAL DEMOLITION PLANS
ED-101	CELLAR/FIRST FLOOR ELECTRICAL DEMOLITION PLANS
ED-102	SECOND/THIRD FLOOR ELECTRICAL DEMOLITION PLANS

ORGANIZATION OF CONSTRUCTION DOCUMENTS

THE PROJECT CONSISTS OF THE REHABILITATION OF THE SUBJECT PREMISES AS DESCRIBED WITHIN THESE CONSTRUCTION DRAWINGS AND WITHIN THE PROJECT SPECIFICATIONS.

ON THE DRAWINGS EACH REQUIRED ARCHITECTURAL REPAIR IS IDENTIFIED BY A "REPAIR TAG." THE REPAIR TAGS ARE DIVIDED INTO TWO PARTS; 1)"REPAIR CODES" CONSISTING OF A COMBINATION OF ACRONYMS AND NUMBERS DESCRIBING THE MATERIAL AND TYPE OF REPAIR AND 2)"QUANTITY ESTIMATE" INDICATING A UNIT OF MEASURE AND AN ESTIMATED QUANTITY OF REPAIR. THE "REPAIR LEGEND" ON THE DRAWINGS TRANSLATES THE REPAIR CODES TO IDENTIFY THE MATERIAL TO BE REPAIRED AND THE TYPE OF REPAIR. THESE REPAIR CODES ARE FURTHER USED TO REFERENCE THE REPAIR DETAILS SHOWN ON THE DRAWINGS AS WELL AS EXECUTION OF THE REPAIRS AS DESCRIBED IN THE "PART 3-EXECUTION" SECTION OF THE APPLICABLE TECHNICAL SPECIFICATIONS.

QUANTITY ESTIMATES INDICATED IN THE REPAIR TAGS ARE APPROXIMATE AND ARE PROVIDED FOR THE CONTRACTOR'S BASE BID. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN FIELD. VARIATIONS FROM BASE BID QUANTITIES ARE TO BE ADJUSTED AT UNIT COST.

AS AN EXAMPLE, THE REPAIR TAG BELOW INDICATES REPAIR OF SEVEN (7) LINEAR FEET OF CRACKED LIMESTONE.

MISCELLANEOUS ITEMS AND ALL STRUCTURAL WORK IS IN ADDITION TO THE ARCHITECTURAL REPAIRS INDICATED BY REPAIR TAGS.

QUANTITIES OF ARCHITECTURAL REPAIR

ID	DESCRIPTION	UNIT	QUANTITY	DETAIL NO.
BR 01	BRICK CRACK REPAIR	LF	30	5/A-501
BR 02	BRICK SPALL REPAIR	SF	5	1/A-502
BR 03a	BRICK STITCHING	SF	90	2/A-502
BR 03b	BRICK STITCHING @ CHIMNEY	SF	42	2/A-502
CR 01	CONCRETE CRACK REPAIR WITH EPOXY	LF	17	3/A-502
CR 02	CONCRETE SPALL REPAIR	SF	32	4/A-502
FL 01	REPLACE FLASHING @ ALL 1815 HOUSE CHIMNEYS	LS	0	1/A-506
FL 02	REPLACE STEP FLASHING @ DORMERS	LF	0	2/A-506
FL 03	REPLACE PERIMETER FLASHING	LF	0	3/A-507
FL 04	COPPER GUTTER LINER REPLACEMENT	LF	90	1/A-507
FL 05	COPPER GUTTER LINER @ SOUTH PORTICO	LS	1	2/A-507
LI 01a	NEW STEEL LINTEL REPLACEMENT @ CELLAR DOOR	LF	5	1/A-503
LI 01b	NEW STEEL LINTEL INSTALLATION & JACK ARCH RECONSTRUCTION	LF	10	3/A-503
LI 02	NEW STEEL LINTEL INSTALLATION @ WEST PORCH	LF	5	2/A-503
PK 01	CHEMICAL STRIP AND PAINT WOOD	LF	2260	SEE SPECS
PK 02	CHEMICAL STRIP AND PAINT WINDOW SASH (EXTERIOR AND INTERIOR)	LS	1	SEE SPECS
PK 04	CHEMICAL STRIP AND PAINT STEEL W/ A RUST INHIBITIVE PAINT	LF	26	SEE SPECS
PK 05	CHEMICAL STRIP AND PAINT SHUTTER HINGES W/ A RUST INHIBITIVE COATING	LS	1	SEE SPECS
PO 01	BRICK REPOINTING	SF	817	1/A-501
PO 02	STONE REPOINTING	LF	275	2/A-501
RO 01	NEW SLATE ROOF	LS	0	1/A-508
RO 02	NEW SLATE @ ALL DORMER FACES	LS	0	2/A-508
RO 03	NEW FLAT SEAMED COPPER SHEET METAL ROOF	LS	1	3/A-508
RO 04	NEW PRECAST CONCRETE 30" SPLASH BLOCK	LS	1	2/A-507
SE 01	SEALANT REPLACEMENT @ BRICK/ CONCRETE JOINTS	LF	139	3/A-501
SE 02	SEALANT REPLACEMENT @ MASONRY/WOOD JOINTS	LF	1115	4/A-501
SM 01	NEW COPPER LEADER	LF	325	2/A-507
SM 02	NEW COPPER STRAINER BASKET	LS	1	2/A-507
ST 02	STONE SPALL REPAIR W/ A COMPOSITE PATCH	SF	24	5/A-502
WO 01	WOOD REPAIR W/ COMPOSITE PATCH	SF	4	1/A-504
WO 02	REPLACE TOP & BOTTOM RAIL OF RAILING @ SOUTH PORTICO	LF	17	2/A-504
WO 03	REPLACE POST @ SOUTH PORTICO	EA	1	2/A-504
WO 04	REPLACE SELECTIVE SOFFIT ASSEMBLY	LF	60	3/A-504
WO 05	REPLACE SELECTIVE SOFFIT FASCIA	LF	22	1/A-505
WO 06	REPLACE FASCIA @ WEST PORCH	LF	3	1/A-505
WO 07	REPLACE FASCIA @ SOUTH PORTICO	LS	1	2/A-507
WO 08	RE-ATTACH ENTABLATURE TRIM @ SOUTH PORTICO	LS	1	2/A-505
WO 09	DUTCHMAN @ DORMER SILL	LF	2	3/A-505
WO 10	REMOVE AND DISPOSE OF ALL WOOD SHUTTERS	LS	1	N/A
WO 11	REPLACE WOOD SHEATHING W/ NEW 2-LAYERS OF 5/8" PLYWOOD	SF	1,160	N/A
WO 12	REPLACE GLAZING @ NORTH ELEVATION, THIRD FLOOR	LS	1	N/A

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No.	Date:	Revision:
-	11-12-08	ISSUED FOR CBC REVIEW
-	12-22-08	100% DRAFT
-	02-13-09	100% FINAL
1	04-16-09	
2	05-20-09	ADDENDUM # 6
3	06-05-09	ADDENDUM # 8

STATE OF WEST VIRGINIA
DEPARTMENT OF ADMINISTRATION DIVISION OF GENERAL SERVICES
CHARLESTON, WEST VIRGINIA

LOCATION: Charleston, West Virginia
BUILDING: Holly Grove Mansion
PROJECT: Exterior Rehabilitation & Selective Demolition. SHCA PROJ. #: 6520-B

DRAWING TITLE: Notes, Legends, Quantities, Drawing List
DRAWN BY: SJ/AR SCALE: AS NOTED DATE: 02/13/09
DRAWING NO: T-1

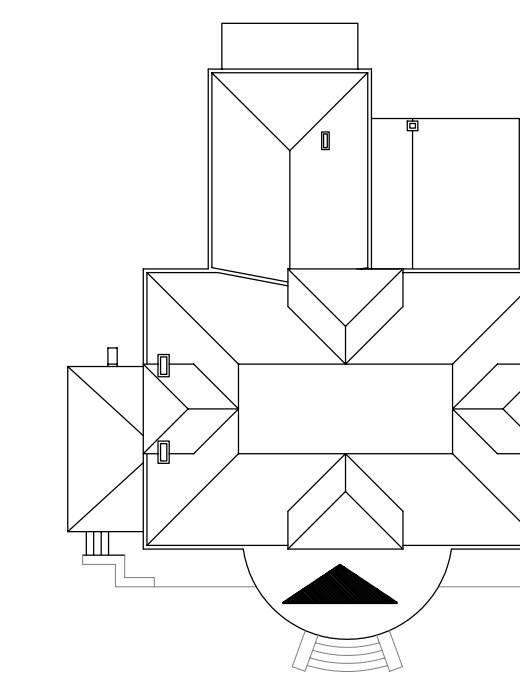
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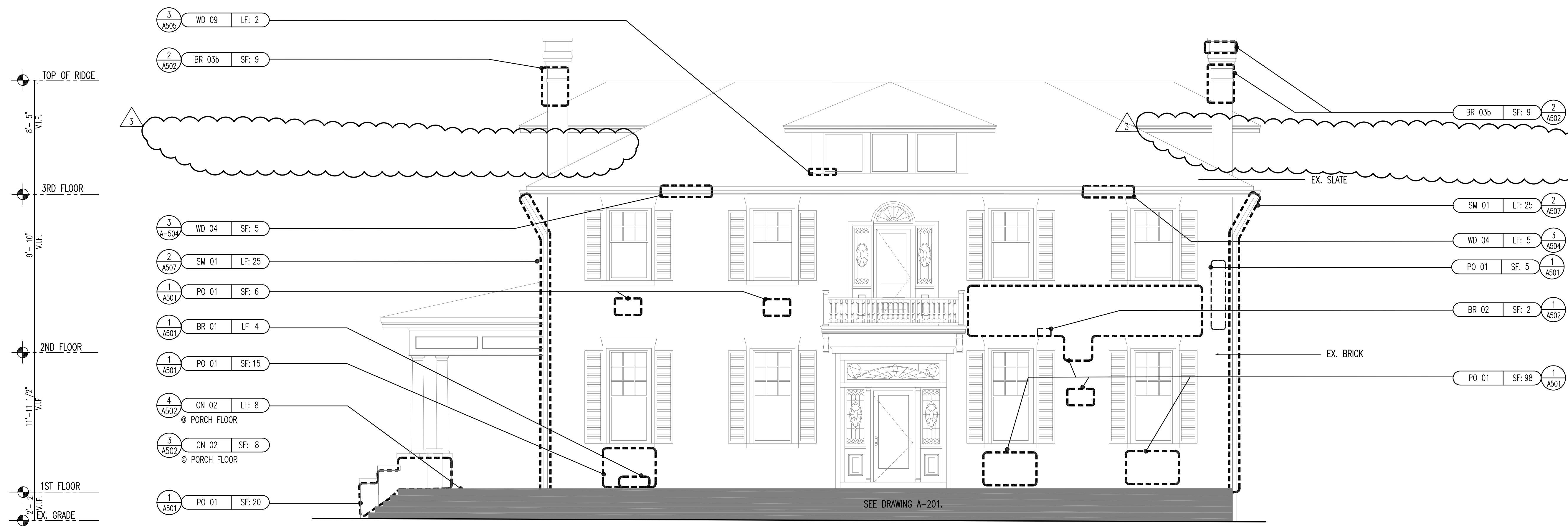
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1 SOUTH ELEVATION
 1/4" = 1'-0"

ADDITIONAL CONDITIONS ON SOUTH ELEVATION:	ADDITIONAL QUANTITIES:
WD 10 EA: 16 @ ALL WINDOWS	SE 02 LF 340 SEE GENERAL NOTES
PN 01 SF: 380 ALL TRIM EXCEPT WINDOW FRAMES & DOORS	PN 05 EA: 32 @ ALL SHUTTERS

REPAIR LEGEND	
MASONRY	POINTING & SEALANT
BR 01 BRICK CRACK REPAIR	PO 01 BRICK REPOINTING
BR 02 BRICK SPALL REPAIR	PO 02 STONE REPOINTING
BR 03a BRICK STITCHING	SE 01 SEALANT REPLACEMENT @ BRICK/ CONCRETE JOINT
BR 03b BRICK STITCHING @ CHIMNEY	SE 02 SEALANT REPLACEMENT @ WOOD/ MASONRY JOINT
CN 01 CONCRETE CRACK REPAIR WITH EPOXY	
CN 02 CONCRETE SPALL REPAIR	PAINTING
ST 02 STONE SPALL REPAIR: COMPOSITE PATCH	PN 01 CHEMICAL STRIP AND PAINT WOOD
WOOD	PN 04 SCRAPE AND PAINT STEEL W/ A RUST INHIBITIVE COATING
WD 01 REPAIR W/ COMPOSITE PATCH	PN 05 SCRAPE AND PAINT SHUTTER HINGERS W/ A RUST INHIBITIVE COATING
WD 02 REPLACE TOP/BOTTOM RAIL OF RAILING @ SOUTH ELEVATION	ROOFING AND FLASHING
WD 03 REPLACE POST OF RAILING @ SOUTH ELEVATION	FL 01 REPLACE STEP FLASHING @ CHIMNEY
WD 04 REPLACE SOFFIT ASSEMBLY	FL 02 REPLACE STEP FLASHING @ DORMER
WD 05 REPLACE SOFFIT FASCIA	FL 03 REPLACE PERIMETER FLASHING
WD 06 REPLACE FASCIA @ WEST PORCH	FL 04 COPPER GUTTER LINER REPLACEMENT
WD 07 REPLACE FASCIA @ SOUTH PORTICO	FL 05 REPLACE FASCIA AND GUTTER LINER @ SOUTH PORTICO
WD 08 RE-ATTACH ENTABLATURE TRIM @ SOUTH PORTICO	RO (S) 01 INSTALL NEW SLATE ROOF
WD 09 DUTCHMAN @ DORMER SILL	RO (S) 04 NEW SLATE @ DORMER FACE
WD 10 REMOVE AND DISPOSE OF WOOD SHUTTERS	RO 05 NEW PRECAST CONCRETE 30" SPLASH BLOCK
WD 11 REPLACEMENT OF WOOD SHEATHING	RO (SM) 04 NEW FLAT SEAMED COPPER SHEET METAL ROOF
LINTELS	SM 01 NEW COPPER LEADER AND STRAINER BASKET
LI 03a STEEL LINTEL REPLACEMENT	
LI 03b STEEL LINTEL INSTALLATION & JACK ARCH RECONSTRUCTION	
LI 04 NEW STEEL LINTEL INSTALLATION	

REPAIR TAG LEGEND	
RE (XX) ##	SF: ##
WORK ITEM DESCRIPTION	FURTHER INFORMATION

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GENERAL NOTES

- ALL REPLACEMENT WOOD ELEMENTS ARE TO MATCH EXISTING HISTORIC PROFILES.
- PERIMETER SEALANT IS TO BE APPLIED AT ALL WINDOW/ DOOR SURROUNDS. BASE SEALANT IS TO BE APPLIED AT ALL PERIMETER FOUNDATION MASONRY JOINTS AND WHERE MASONRY MEETS WOOD.
- REMOVE AND REPLACE EXISTING CONDUIT & WIRES AS REQUIRED TO PERFORM WORK IN AFFECTED AREAS. COORDINATE WORK WITH M.E.P.

STATE OF WEST VIRGINIA
 DEPARTMENT OF ADMINISTRATION
 DIVISION OF GENERAL SERVICES
 CHARLESTON, WEST VIRGINIA

LOCATION: Charleston, West Virginia
 BUILDING: Holly Grove Mansion
 PROJECT: Exterior Rehabilitation & Selective Demo. SHCA PROJ. #: 6520-B

DRAWING TITLE: South Elevation
 DRAWN BY: SJ/AR
 SCALE: AS NOTED
 DATE: 02/13/09

DRAWING NO: A-201a

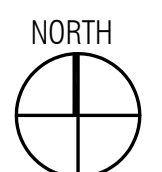
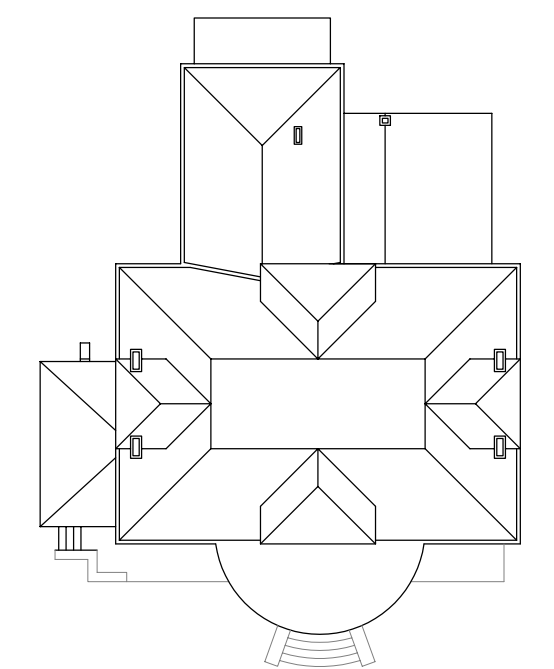
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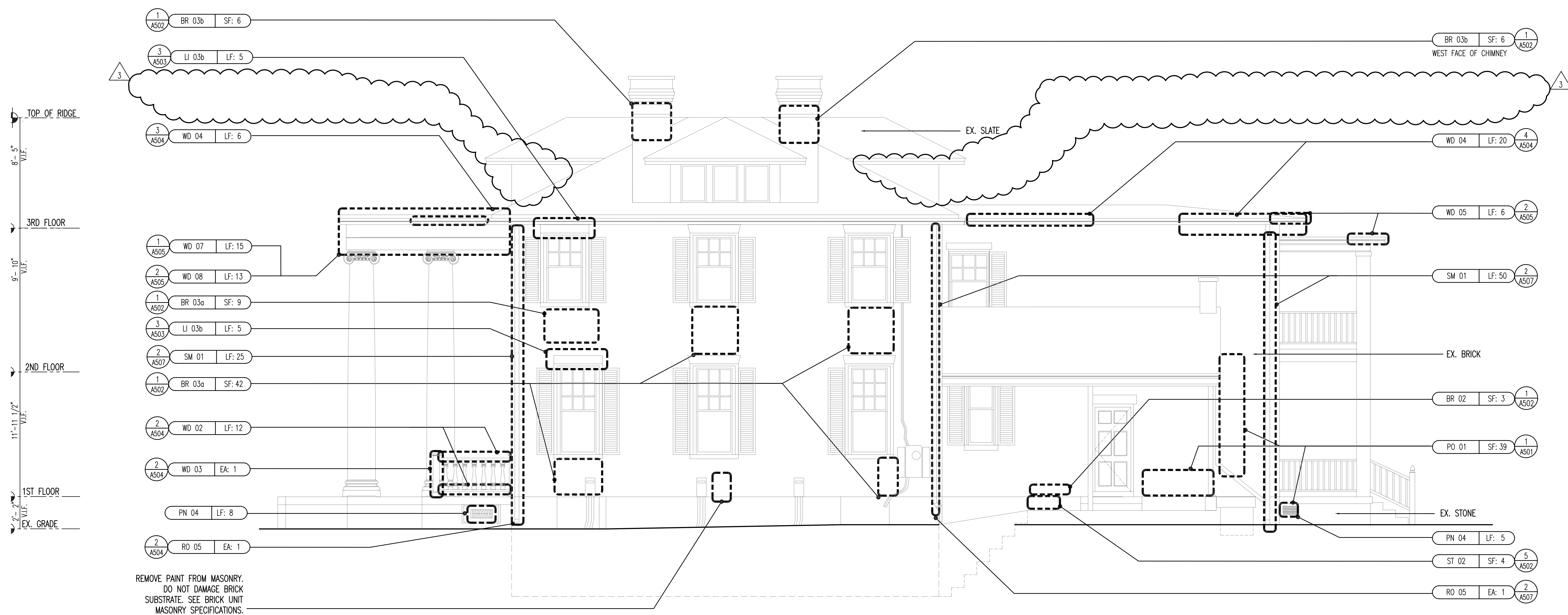
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8'-5" V.I.F.
 9'-10" V.I.F.
 11'-11 1/2" V.I.F.
 2'-2 1/2" V.I.F.
 EX. GRADE

REMOVE PAINT FROM MASONRY. DO NOT DAMAGE BRICK SUBSTRATE. SEE BRICK UNIT MASONRY SPECIFICATIONS.

1 EAST ELEVATION
 1/4" = 1'-0"

ADDITIONAL CONDITIONS ON EAST ELEVATION:

- PO 01 SF: 10 1 A501 INTERIOR FACE OF EAST 1815 CHIMNEYS
- PO 02 LF: 55 2 A501 ENTIRE STONE FOUNDATION
- WD 10 EA: 14 @ ALL WINDOWS
- PN 01 SF: 410 ALL TRIM EXCEPT WINDOW FRAMES AND DOORS
- PN 05 EA: 28 @ ALL SHUTTERS
- SE 01 LF: 25 3 A501 SEE GENERAL NOTES
- SE 02 LF: 265 4 A501 SEE GENERAL NOTES

ADDITIONAL QUANTITIES:

IN ADDITION TO SPECIFIC LOCATIONS OF POINTING INDICATED ON DRAWING, CONTRACTOR TO INCLUDE AN ADDITIONAL 70_SF OF BRICK REPOINTING (PO 01) ON THIS ELEVATION. LOCATIONS TO BE CONFIRMED WITH ARCHITECT. ANY QUANTITIES NOT USED MAY BE USED AT ARCHITECT'S AND OWNER'S DISCRETION AT OTHER ELEVATIONS. CONTRACTOR SHALL NOT BILL QUANTITIES NOT PERFORMED.

REPAIR LEGEND	
MASONRY	BR 01 BRICK CRACK REPAIR BR 02 BRICK SPALL REPAIR BR 03a BRICK STITCHING BR 03b BRICK STITCHING @ CHIMNEY CN 01 CONCRETE CRACK REPAIR WITH EPOXY CN 02 CONCRETE SPALL REPAIR ST 02 STONE SPALL REPAIR: COMPOSITE PATCH
WOOD	WD 01 REPAIR W/ COMPOSITE PATCH WD 02 REPLACE TOP/BOTTOM RAIL OF RAILING @ SOUTH ELEVATION WD 03 REPLACE POST OF RAILING @ SOUTH ELEVATION WD 04 REPLACE SOFFIT ASSEMBLY WD 05 REPLACE SOFFIT FASCIA WD 06 REPLACE FASCIA @ WEST PORCH WD 07 REPLACE FASCIA @ SOUTH PORTICO WD 08 RE-ATTACH ENTABLATURE TRIM @ SOUTH PORTICO WD 09 DUTCHMAN @ DORMER SILL WD 10 REMOVE AND DISPOSE OF WOOD SHUTTERS WD 11 REPLACEMENT OF WOOD SHEATHING
LINTELS	LI 03a STEEL LINTEL REPLACEMENT LI 03b STEEL LINTEL INSTALLATION & JACK ARCH RECONSTRUCTION LI 04 NEW STEEL LINTEL INSTALLATION
POINTING & SEALANT	PO 01 BRICK REPOINTING PO 02 STONE REPOINTING SE 01 SEALANT REPLACEMENT @ BRICK/ CONCRETE JOINT SE 02 SEALANT REPLACEMENT @ WOOD/ MASONRY JOINT
PAINTING	PN 01 CHEMICAL STRIP AND PAINT WOOD PN 04 SCRAPE AND PAINT STEEL W/ A RUST INHIBITIVE COATING PN 05 SCRAPE AND PAINT SHUTTER HINGERS W/ A RUST INHIBITIVE COATING
ROOFING AND FLASHING	FL 01 REPLACE STEP FLASHING @ CHIMNEY FL 02 REPLACE STEP FLASHING @ DORMER FL 03 REPLACE PERIMETER FLASHING FL 04 COPPER GUTTER LINER REPLACEMENT FL 05 REPLACE FASCIA AND GUTTER LINER @ SOUTH PORTICO RO (SL) 01 INSTALL NEW SLATE ROOF RO (SL) 04a NEW SLATE @ DORMER FACE RO 02 NEW PRECAST CONCRETE 30" SPLASH BLOCK RO (SM) 04 NEW FLAT SEAMED COPPER SHEET METAL ROOF SM 01 NEW COPPER LEADER AND STRAINER BASKET

REPAIR TAG LEGEND

RE (XX) ## SF: ##

- WORK ITEM DESCRIPTION
- QUANTITIES OF REPAIR *
- FURTHER INFORMATION
- UNIT OF MEASURE
- REPAIR TYPE
- SPECIFIC MATERIAL (WHERE APPLICABLE)
- MATERIAL CATEGORY

* QUANTITY ESTIMATES INDICATED IN THE REPAIR TAGS ARE APPROXIMATE AND ARE PROVIDED FOR THE CONTRACTOR'S BASE BID. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN FIELD. VARIATIONS FROM BASE BID QUANTITIES ARE TO BE ADJUSTED AT UNIT COST.

GENERAL NOTES

- ALL REPLACEMENT WOOD ELEMENTS ARE TO MATCH EXISTING HISTORIC PROFILES.
- PERIMETER SEALANT IS TO BE APPLIED AT ALL WINDOW/ DOOR SURROUNDS. BASE SEALANT IS TO BE APPLIED AT ALL PERIMETER FOUNDATION MASONRY JOINTS AND WHERE MASONRY MEETS WOOD.
- REMOVE AND REPLACE EXISTING CONDUIT & WIRES AS REQUIRED TO PERFORM WORK IN AFFECTED AREAS. COORDINATE WORK WITH M.E.P.

STATE OF WEST VIRGINIA
 DEPARTMENT OF ADMINISTRATION DIVISION OF GENERAL SERVICES
 CHARLESTON, WEST VIRGINIA

LOCATION: Charleston, West Virginia
 BUILDING: Holly Grove Mansion
 PROJECT: Exterior Rehabilitation & Selective Demo. SHCA PROJ. #: 6520-B

DRAWING TITLE: **East Elevation**
 DRAWN BY: SJ/AR SCALE: AS NOTED DATE: 02/13/09
 DRAWING NO: **A-202**

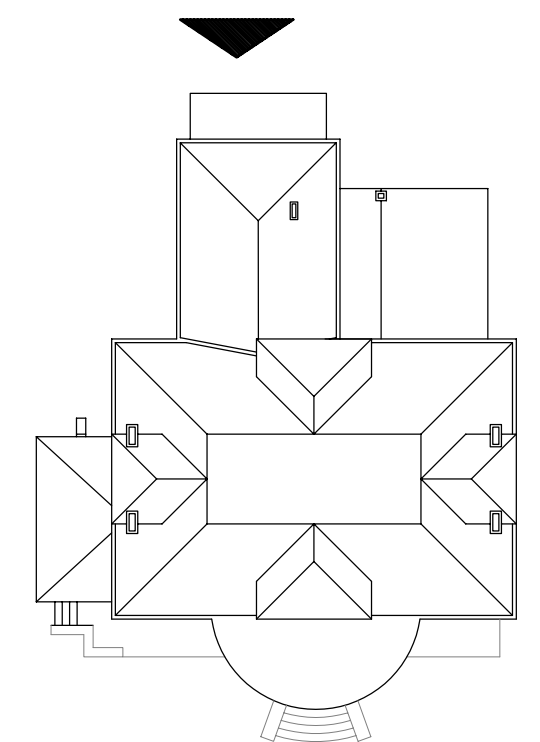
Swanke Hayden Connell Ltd.
 Swanke Hayden Connell & Partners, LLP
 285 Lafayette Street, New York, New York 10012
 Phone 212 226 9696, Fax 212 219 0059

Structural Engineer:
 CAS Structural Engineering, Inc.
 P.O. Box 469
 Alum Creek, WV 25003

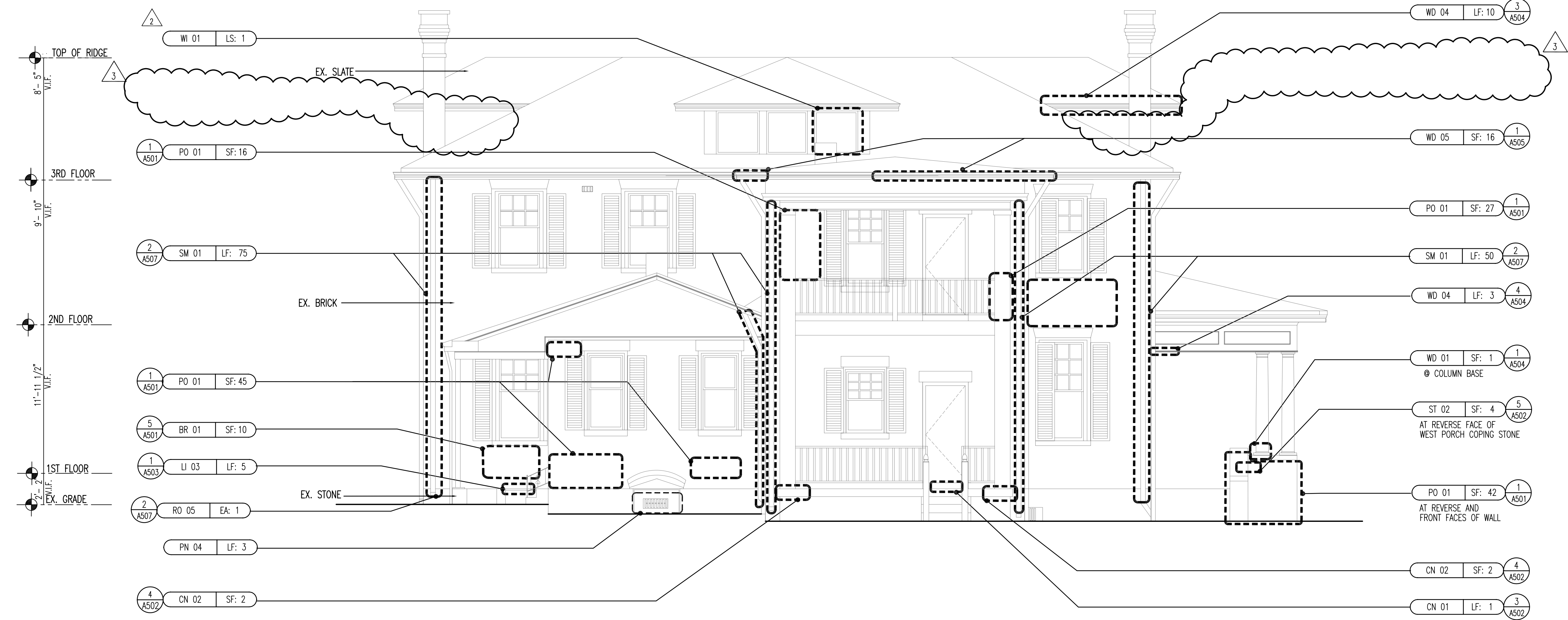
MEP Engineer:
 CMA Engineering
 824 Cross Lanes Drive
 Charleston, WV 25313

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Key Plan



No:	Date:	Revision:
-	11-12-08	ISSUED FOR CBC REVIEW
-	12-22-08	100% DRAFT
-	02-13-09	100% FINAL
1	04-16-09	ADDENDUM # 6
2	05-20-09	ADDENDUM # 6
3	06-05-09	ADDENDUM # 8



1 NORTH ELEVATION
 1/4" = 1'-0"

ADDITIONAL CONDITIONS ON NORTH ELEVATION:

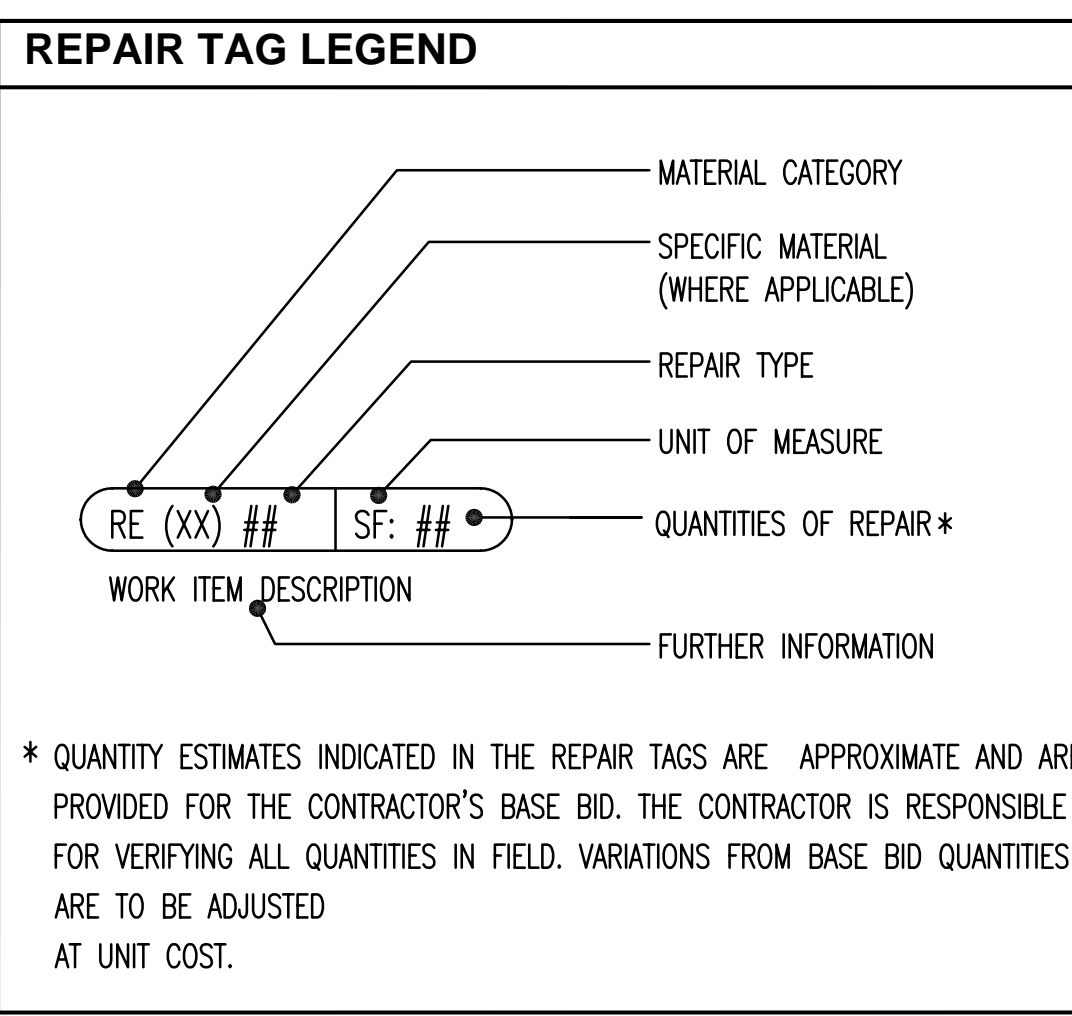
- PO 02 LF: 50 (2) A501 ENTIRE STONE FOUNDATION
- SE 01 LF: 35 (3) A501 SEE GENERAL NOTES
- SE 02 LF: 255 (4) A501 SEE GENERAL NOTES
- CN 02 LF: 8 (4) A502 AT FIRST STORY FLOOR OF NORTH (REAR) PORCH
- WD 10 EA: 17 (4) A502 @ ALL WINDOWS
- PN 01 SF: 560 (4) A501 ALL TRIM EXCEPT WINDOW FRAMES & DOORS
- PN 05 EA: 34 (4) A501 @ ALL SHUTTERS

ADDITIONAL QUANTITIES:

IN ADDITION TO SPECIFIC LOCATIONS OF POINTING INDICATED ON DRAWING, CONTRACTOR TO INCLUDE AN ADDITIONAL 100 SF OF BRICK REPOINTING (PO 01) ON THIS ELEVATION. LOCATIONS TO BE CONFIRMED WITH ARCHITECT. ANY QUANTITIES NOT USED MAY BE USED AT ARCHITECT'S AND OWNER'S DISCRETION AT OTHER ELEVATIONS. CONTRACTOR SHALL NOT BILL QUANTITIES NOT PERFORMED.

REPAIR LEGEND	
MASONRY	BR 01 BRICK CRACK REPAIR BR 02 BRICK SPALL REPAIR BR 03a BRICK STITCHING BR 03b BRICK STITCHING @ CHIMNEY CN 01 CONCRETE CRACK REPAIR WITH EPOXY CN 02 CONCRETE SPALL REPAIR ST 02 STONE SPALL REPAIR: COMPOSITE PATCH
WOOD	WD 01 REPAIR W/ COMPOSITE PATCH WD 02 REPLACE TOP/BOTTOM RAIL OF RAILING @ SOUTH ELEVATION WD 03 REPLACE POST OF RAILING @ SOUTH ELEVATION WD 04 REPLACE SOFFIT ASSEMBLY WD 05 REPLACE SOFFIT FASCIA WD 06 REPLACE FASCIA @ WEST PORCH WD 07 REPLACE FASCIA @ SOUTH PORTICO WD 08 RE-ATTACH ENTABLATURE TRIM @ SOUTH PORTICO WD 09 DUTCHMAN @ DORMER SILL WD 10 REMOVE AND DISPOSE OF WOOD SHUTTERS WD 11 REPLACEMENT OF WOOD SHEATHING
LINTELS	LI 03a STEEL LINTEL REPLACEMENT LI 03b STEEL LINTEL INSTALLATION & JACK ARCH RECONSTRUCTION LI 04 NEW STEEL LINTEL INSTALLATION

REPAIR TAG LEGEND	
POINTING & SEALANT	PO 01 BRICK REPOINTING PO 02 STONE REPOINTING SE 01 SEALANT REPLACEMENT @ BRICK/ CONCRETE JOINT SE 02 SEALANT REPLACEMENT @ WOOD/ MASONRY JOINT
PAINTING	PN 01 CHEMICAL STRIP AND PAINT WOOD PN 04 SCRAPE AND PAINT STEEL W/ A RUST INHIBITIVE COATING PN 05 SCRAPE AND PAINT SHUTTER HINGERS W/ A RUST INHIBITIVE COATING
ROOFING AND FLASHING	FL 01 REPLACE STEP FLASHING @ CHIMNEY FL 02 REPLACE STEP FLASHING @ DORMER FL 03 REPLACE PERIMETER FLASHING FL 04 COPPER GUTTER LINER REPLACEMENT FL 05 REPLACE FASCIA AND GUTTER LINER @ SOUTH PORTICO RO (SL) 04 INSTALL NEW SLATE ROOF RO (SL) 05 NEW SLATE @ DORMER FACE RO 05 NEW PRECAST CONCRETE 30 SPLASH BLOCK RO (SM) 04 NEW FLAT SEAMED COPPER SHEET METAL ROOF SM 01 NEW COPPER LEADER AND STRAINER BASKET



- GENERAL NOTES**
- ALL REPLACEMENT WOOD ELEMENTS ARE TO MATCH EXISTING HISTORIC PROFILES.
 - PERIMETER SEALANT IS TO BE APPLIED AT ALL WINDOW/ DOOR SURROUNDS. BASE SEALANT IS TO BE APPLIED AT ALL PERIMETER FOUNDATION MASONRY JOINTS AND WHERE MASONRY MEETS WOOD.
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STATE OF WEST VIRGINIA
 DEPARTMENT OF ADMINISTRATION DIVISION OF GENERAL SERVICES
 CHARLESTON, WEST VIRGINIA

LOCATION: Charleston, West Virginia
 BUILDING: Holly Grove Mansion
 PROJECT: Exterior Rehabilitation & Selective Demo. SHCA PROJ. #: 6520-B

DRAWING TITLE: North Elevation DRAWING NO: A-203
 DRAWN BY: SJ/AR SCALE: AS NOTED DATE: 02/13/09

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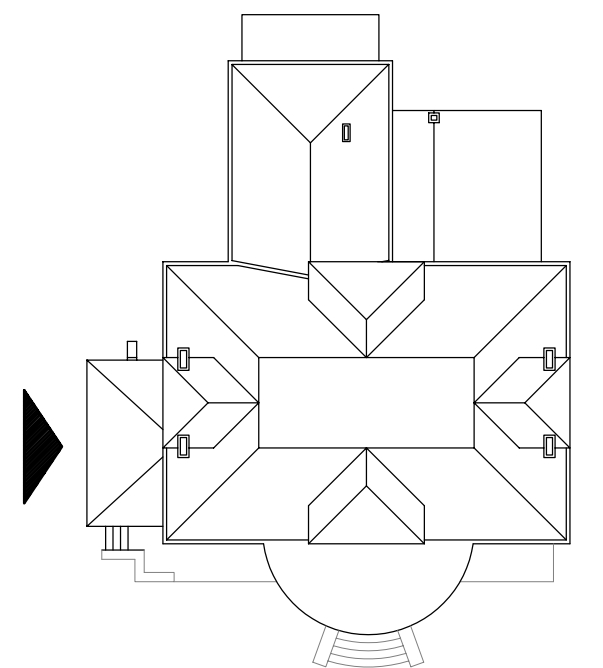
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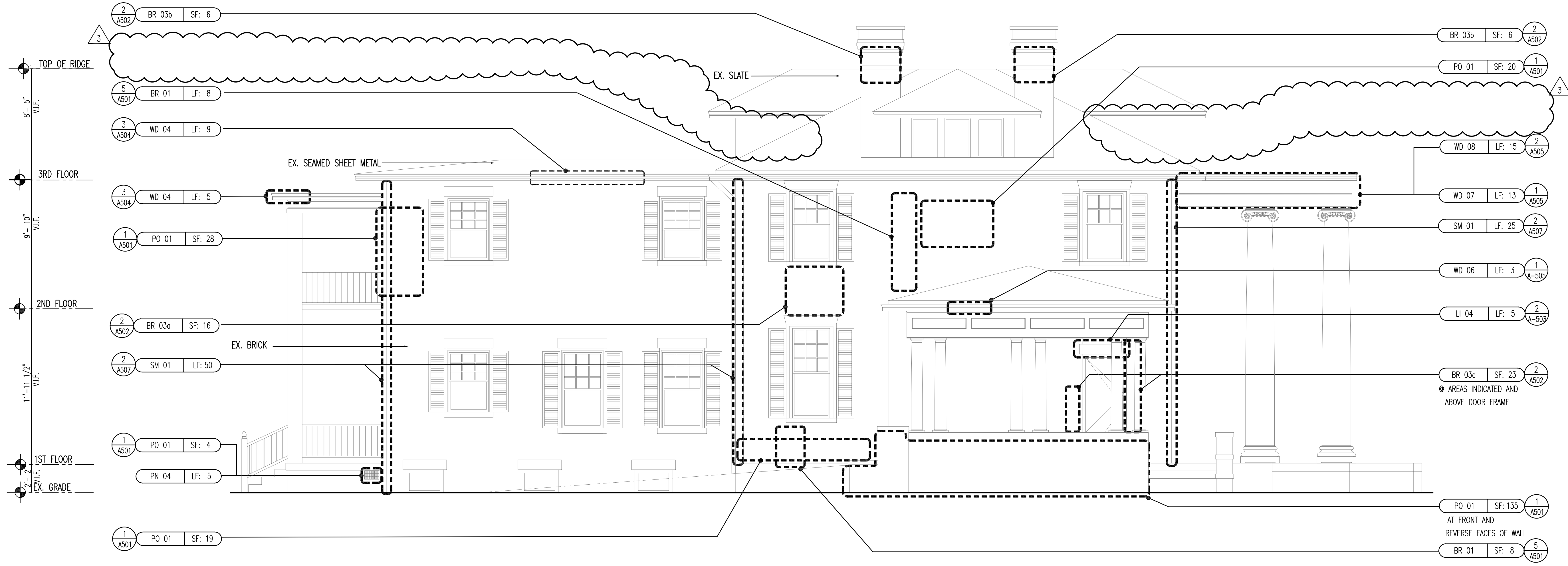
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824 Cross Lanes Drive
Charleston, WV 25313

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Key Plan



No.	Date:	Revision:
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-	02-13-09	100% FINAL
△	04-16-09	ADDENDUM # 6
△	05-20-09	ADDENDUM # 7
△	06-05-09	ADDENDUM # 8



ADDITIONAL CONDITIONS ON NORTH ELEVATION:

PO 01 SF: 10 (1 A501) INTERIOR FACE OF WEST 1815 CHIMNEYS	PO 02 LF: 50 (2 A501) ENTIRE STONE FOUNDATION	SE 01 LF: 60 (3 A501) SEE GENERAL NOTES DO NOT INSTALL @ ADA RAMP	SE 02 LF: 195 (4 A501) SEE GENERAL NOTES
WD 10 EA: 16 @ ALL WINDOWS	PN 01 SF: 360	PN 05 EA: 32 @ ALL SHUTTERS	CN 01 LF: 8 (3 A501) @ PORCH FLOOR OF NORTH (REAR) PORCH

ADDITIONAL QUANTITIES:

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1 WEST ELEVATION
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REPAIR LEGEND	
MASONRY	POINTING & SEALANT
BR 01 BRICK CRACK REPAIR	PO 01 BRICK REPOINTING
BR 02 BRICK SPALL REPAIR	PO 02 STONE REPOINTING
BR 03a BRICK STITCHING	SE 01 SEALANT REPLACEMENT @ BRICK/ CONCRETE JOINT
BR 03b BRICK STITCHING @ CHIMNEY	SE 02 SEALANT REPLACEMENT @ WOOD/ MASONRY JOINT
CN 01 CONCRETE CRACK REPAIR WITH EPOXY	
CN 02 CONCRETE SPALL REPAIR	PAINTING
ST 02 STONE SPALL REPAIR: COMPOSITE PATCH	PN 01 CHEMICAL STRIP AND PAINT WOOD
WOOD	PN 04 SCRAPE AND PAINT STEEL W/ A RUST INHIBITIVE COATING
WD 01 REPAIR W/ COMPOSITE PATCH	PN 05 SCRAPE AND PAINT SHUTTER HINGERS W/ A RUST INHIBITIVE COATING
WD 02 REPLACE TOP/BOTTOM RAIL OF RAILING @ SOUTH ELEVATION	
WD 03 REPLACE POST OF RAILING @ SOUTH ELEVATION	ROOFING AND FLASHING
WD 04 REPLACE SOFFIT ASSEMBLY	FL 01 REPLACE STEP FLASHING @ CHIMNEY
WD 05 REPLACE SOFFIT FASCIA	FL 02 REPLACE STEP FLASHING @ DORMER
WD 06 REPLACE FASCIA @ WEST PORCH	FL 03 REPLACE PERIMETER FLASHING
WD 07 REPLACE FASCIA @ SOUTH PORTICO	FL 04 COPPER GUTTER DRAIN REPLACEMENT
WD 08 RE-ATTACH ENTABLATURE TRIM @ SOUTH PORTICO	FL 05 REPLACE FASCIA AND GUTTER LINER @ SOUTH PORTICO
WD 09 DUTCHMAN @ DORMER SILL	RO 01 INSTALL NEW SLATE ROOF
WD 10 REMOVE AND DISPOSE OF WOOD SHUTTERS	RO 02 NEW SLATE @ DORMER FACE
WD 11 REPLACEMENT OF WOOD SHEATHING	RO 03 NEW PRECAST CONCRETE 30" SPLASH BLOCK
LINTELS	RO (SM) 04 NEW FLAT SEAMED COPPER SHEET METAL ROOF
LI 03a STEEL LINTEL REPLACEMENT	SM 01 NEW COPPER LEADER AND STRAINER BASKET
LI 03b STEEL LINTEL INSTALLATION & JACK ARCH RECONSTRUCTION	
LI 04 NEW STEEL LINTEL INSTALLATION	

REPAIR TAG LEGEND

MATERIAL CATEGORY
 SPECIFIC MATERIAL (WHERE APPLICABLE)
 REPAIR TYPE
 UNIT OF MEASURE
 QUANTITIES OF REPAIR *
 WORK ITEM DESCRIPTION
 FURTHER INFORMATION

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STATE OF WEST VIRGINIA
DEPARTMENT OF ADMINISTRATION DIVISION OF GENERAL SERVICES
CHARLESTON, WEST VIRGINIA

LOCATION: Charleston, West Virginia
BUILDING: Holly Grove Mansion
PROJECT: Exterior Rehabilitation & Selective Demo. SHCA PROJ. #: 6520-B

DRAWING TITLE: West Elevation
DRAWN BY: SJ/AR SCALE: AS NOTED DATE: 02/13/09
DRAWING NO: A-204

