

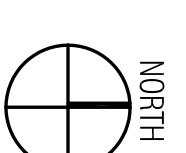
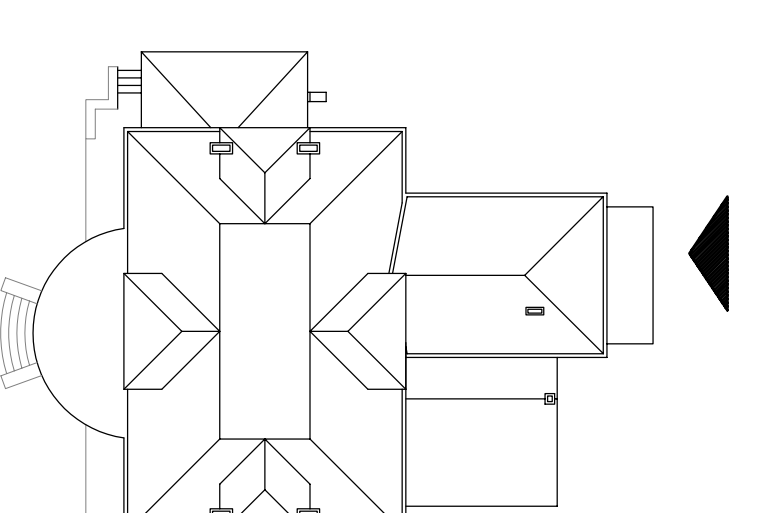
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Structural Engineer:
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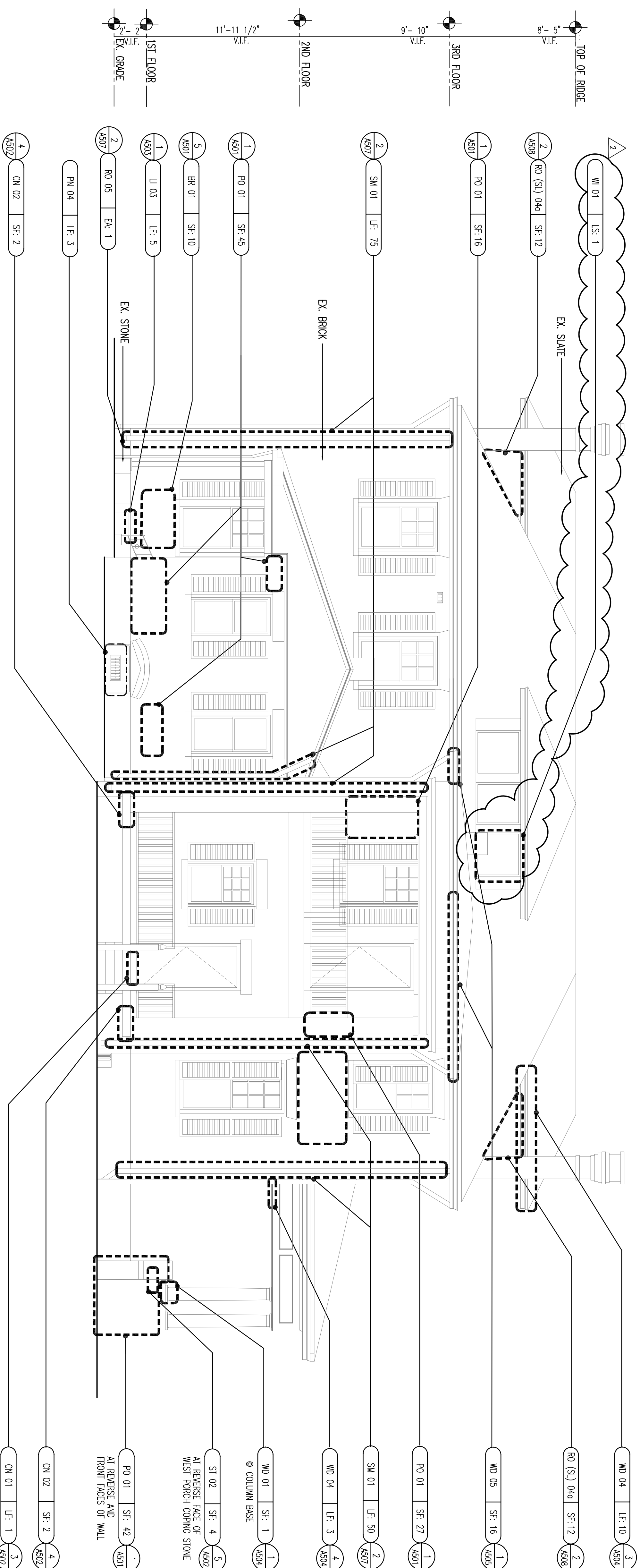
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Key Plan



No:	11-12-08	Revision:	ISSUED FOR CBC REVIEW
Date:	12-22-08		100% DRAFT
	02-13-09		100% FINAL
	04-16-09		
	05-20-09		ADDENDUM # 6



1 NORTH ELEVATION
 1/4" = 1'-0"

ADDITIONAL CONDITIONS ON NORTH ELEVATION:

- PO 02 | LF: 50 | 2 | 4507 | ENTIRE STONE FOUNDATION
- SE 01 | LF: 35 | 3 | 4507 | SEE GENERAL NOTES
- SE 02 | LF: 255 | 4 | 4507 | SEE GENERAL NOTES
- WD 10 | EK: 17 | 1 | 4507 | @ ALL WINDOWS
- PN 01 | SF: 560 | 3 | 4507 | ALL TRIM EXCEPT WINDOW FRAMES & DOORS
- PN 05 | EK: 34 | 1 | 4507 | @ ALL SHUTTERS

ADDITIONAL QUANTITIES:

IN ADDITION TO SPECIFIC LOCATIONS OF POINTING INDICATED ON DRAWING, CONTRACTOR TO INCLUDE AN ADDITIONAL 100 SF OF BRICK REPOINTING (PO 01) ON THIS ELEVATION. LOCATIONS TO BE CONFIRMED WITH ARCHITECT. ANY QUANTITIES NOT USED MAY BE USED AT ARCHITECT'S AND OWNER'S DISCRETION AT OTHER ELEVATIONS. CONTRACTOR SHALL NOT BILL QUANTITIES NOT PERFORMED.

REPAIR LEGEND		REPAIR TAG LEGEND	
MASONRY	BR 01 BRICK CRACK REPAIR BR 02 BRICK SPALL REPAIR BR 03a BRICK STITCHING BR 03b BRICK STITCHING @ CHIMNEY CN 01 CONCRETE CRACK REPAIR WITH EPOXY CN 02 CONCRETE SPALL REPAIR ST 02 STONE SPALL REPAIR: COMPOSITE PATCH	POINTING & SEALANT	PO 01 BRICK REPOINTING PO 02 STONE REPOINTING SE 01 SEALANT REPLACEMENT @ BRICK/ CONCRETE JOINT SE 02 SEALANT REPLACEMENT @ WOOD/ MASONRY JOINT
WOOD	WD 01 REPAIR W/ COMPOSITE PATCH WD 02 REPLACE TOP/BOTTOM RAIL OF RAILING @ SOUTH ELEVATION WD 03 REPLACE POST OF RAILING @ SOUTH ELEVATION WD 04 REPLACE SOFFIT ASSEMBLY WD 05 REPLACE SOFFIT FASCIA WD 06 REPLACE FASCIA @ WEST PORCH WD 07 REPLACE FASCIA @ SOUTH PORTICO WD 08 RE-ATTACH ENABLAURE TRIM @ SOUTH PORTICO WD 09 DUTCHMAN @ DOWNER SILL WD 10 REMOVE AND DISPOSE OF WOOD SHUTTERS	PAINTING	PN 01 CHEMICAL STRIP AND PAINT WOOD PN 04 SCRAPE AND PAINT STEEL W/ A RUST INHIBITIVE COATING PN 05 SCRAPE AND PAINT SHUTTER HINGERS W/ A RUST INHIBITIVE COATING
UNTELS	LU 03a STEEL UNTEL REPLACEMENT LU 03b STEEL UNTEL INSTALLATION & JACK ARCH RECONSTRUCTION LU 04 NEW STEEL UNTEL INSTALLATION	ROOFING AND FLASHING	FL 01 REPLACE STEP FLASHING @ CHIMNEY FL 02 REPLACE STEP FLASHING @ DOWNER FL 03 REPLACE PERIMETER FLASHING FL 04 COPPER GUTTER LINER REPLACEMENT RO (SU) 04a REPLACE FASCIA AND GUTTER LINER @ SOUTH PORTICO RO (SU) 04b NEW GUTTER AND FLASHING @ SOUTH PORTICO RO (SU) 04c NEW BRICK CONCRETE 3/8" SPLASH BLOCK RO (SU) 04d NEW FLASH STAINED COPPER SHEET METAL ROOF SM 01 NEW COPPER LEADER AND STRAINER BASKET

GENERAL NOTES

- ALL REPLACEMENT WOOD ELEMENTS ARE TO MATCH EXISTING HISTORIC PROFILES.
- PERIMETER SEALANT IS TO BE APPLIED AT ALL WINDOW/ DOOR SURROUND. BASE SEALANT IS TO BE APPLIED AT ALL PERIMETER FOUNDATION MASONRY JOINTS AND WHERE MASONRY MEETS WOOD.
- REMOVE AND REPLACE EXISTING CONDUIT & WIRES AS REQUIRED TO PERFORM WORK IN AFFECTED AREAS. COORDINATE WORK WITH M.E.P.

* QUANTITY ESTIMATES INDICATED IN THE REPAIR TAGS ARE APPROXIMATE AND ARE PROVIDED FOR THE CONTRACTOR'S BASE BID. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN FIELD. VARIATIONS FROM BASE BID QUANTITIES ARE TO BE ADJUSTED AT UNIT COST.

WORK ITEM DESCRIPTION

- RE (XX) ##
- SF: ##
- UNIT OF MEASURE
- REPAIR TYPE
- SPECIFIC MATERIAL (WHERE APPLICABLE)
- MATERIAL CATEGORY

FURTHER INFORMATION