



State of West Virginia  
 Department of Administration  
 Purchasing Division  
 2019 Washington Street East  
 Post Office Box 50130  
 Charleston, WV 25305-0130

# Request for Quotation

RFQ NUMBER  
 GSD096432

PAGE  
 1

ADDRESS CORRESPONDENCE TO ATTENTION OF  
 KRISTA FERRELL  
 304-558-2596

VENDOR

RFQ COPY  
 TYPE NAME/ADDRESS HERE

SHIP TO

DEPARTMENT OF ADMINISTRATION  
 GENERAL SERVICES DIVISION  
 BUILDING 1  
 1900 KANAWHA BOULEVARD, EAST  
 CHARLESTON, WV  
 25305 304-558-3517

DATE PRINTED	TERMS OF SALE	SHIP VIA	F.O.B.	FREIGHT TERMS
04/21/2009				

BID OPENING DATE: 04/30/2009 BID OPENING TIME 01:30PM

LINE	QUANTITY	UOP	CAT NO	ITEM NUMBER	UNIT PRICE	AMOUNT
				ADDENDUM NO. 3		
				THIS ADDENDUM IS ISSUED TO:		
				1.) ADD THE FOLLOWING DOCUMENTS:		
				GSD096432 ADDEDNUM NO. 3 DOCUMENTS		
				GSD096432 ANSWERS TO TECHNICAL QUESTIONS		
				GSD096432 TABLE OF CONTENTS (REVISED)		
				GSD096432 SUBCONTRACTOR FORM		
				GSD096432 SECTION 00400 BID FORM		
				GSD096432 SECTION 01030 ALTERNATES		
				GSD096432 SECTION 01210 ALLOWANCES		
				2.) EXTEND THE BID OPENING DATE		
				BID OPENING DATE IS EXTENDED TO: 04/30/2009		
				BID OPENING TIME REMAINS: 1:30 PM		
				3.) ADD DRAWING T-2		
				***** END ADDENDUM NO. 3 *****		
0001	1	JB		968-42		
				EXTERIOR CLEANING & MASONRY REPAIRS, EAST&WEST WINGS		

SEE REVERSE SIDE FOR TERMS AND CONDITIONS		
SIGNATURE	TELEPHONE	DATE
TITLE	FEIN	ADDRESS CHANGES TO BE NOTED ABOVE

WHEN RESPONDING TO RFQ, INSERT NAME AND ADDRESS IN SPACE ABOVE LABELED 'VENDOR'

**GENERAL TERMS & CONDITIONS**  
**REQUEST FOR QUOTATION (RFQ) AND REQUEST FOR PROPOSAL (RFP)**

1. Awards will be made in the best interest of the State of West Virginia.
2. The State may accept or reject in part, or in whole, any bid.
3. All quotations are governed by the *West Virginia Code* and the *Legislative Rules* of the Purchasing Division.
4. Prior to any award, the apparent successful vendor must be properly registered with the Purchasing Division and have paid the required \$125 fee.
5. All services performed or goods delivered under State Purchase Order/Contracts are to be continued for the term of the Purchase Order/Contracts, contingent upon funds being appropriated by the Legislature or otherwise being made available. In the event funds are not appropriated or otherwise available for these services or goods, this Purchase Order/Contract becomes void and of no effect after June 30.
6. Payment may only be made after the delivery and acceptance of goods or services.
7. Interest may be paid for late payment in accordance with the *West Virginia Code*.
8. Vendor preference will be granted upon written request in accordance with the *West Virginia Code*.
9. The State of West Virginia is exempt from federal and state taxes and will not pay or reimburse such taxes.
10. The Director of Purchasing may cancel any Purchase Order/Contract upon 30 days written notice to the seller.
11. The laws of the State of West Virginia and the *Legislative Rules* of the Purchasing Division shall govern all rights and duties under the Contract, including without limitation the validity of this Purchase Order/Contract.
12. Any reference to automatic renewal is hereby deleted. The Contract may be renewed only upon mutual written agreement of the parties.
13. **BANKRUPTCY:** In the event the vendor/contractor files for bankruptcy protection, this Contract may be deemed null and void, and terminated without further order.
14. **HIPAA BUSINESS ASSOCIATE ADDENDUM:** The West Virginia State Government HIPAA Business Associate Addendum (BAA), approved by the Attorney General, and available online at the Purchasing Division's web site (<http://www.state.wv.us/admin/purchase/vrc/hipaa.htm>) is hereby made part of the agreement. Provided that, the Agency meets the definition of a Cover Entity (45 CFR §160.103) and will be disclosing Protected Health Information (45 CFR §160.103) to the vendor.
15. **WEST VIRGINIA ALCOHOL & DRUG-FREE WORKPLACE ACT:** If this Contract constitutes a public improvement construction contract as set forth in Article 1D, Chapter 21 of the West Virginia Code ("The West Virginia Alcohol and Drug-Free Workplace Act"), then the following language shall hereby become part of this Contract: "The contractor and its subcontractors shall implement and maintain a written drug-free workplace policy in compliance with the West Virginia Alcohol and Drug-Free Workplace Act, as set forth in Article 1D, Chapter 21 of the West Virginia Code. The contractor and its subcontractors shall provide a sworn statement in writing, under the penalties of perjury, that they maintain a valid drug-free work place policy in compliance with the West Virginia and Drug-Free Workplace Act. It is understood and agreed that this Contract shall be cancelled by the awarding authority if the Contractor: 1) Fails to implement its drug-free workplace policy; 2) Fails to provide information regarding implementation of the contractor's drug-free workplace policy at the request of the public authority; or 3) Provides to the public authority false information regarding the contractor's drug-free workplace policy."

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**INSTRUCTIONS TO BIDDERS**

1. Use the quotation forms provided by the Purchasing Division.
2. **SPECIFICATIONS:** Items offered must be in compliance with the specifications. Any deviation from the specifications must be clearly indicated by the bidder. Alternates offered by the bidder as **EQUAL** to the specifications must be clearly defined. A bidder offering an alternate should attach complete specifications and literature to the bid. The Purchasing Division may waive minor deviations to specifications.
3. Complete all sections of the quotation form.
4. Unit prices shall prevail in case of discrepancy.
5. All quotations are considered F.O.B. destination unless alternate shipping terms are clearly identified in the quotation.
6. **BID SUBMISSION:** All quotations must be delivered by the bidder to the office listed below prior to the date and time of the bid opening. Failure of the bidder to deliver the quotations on time will result in bid disqualifications: Department of Administration, Purchasing Division, 2019 Washington Street East, P.O. Box 50130, Charleston, WV 25305-0130

**Addendum 3**

**West Virginia State Capitol – East and West Buildings  
Masonry Cleaning and Repair Project  
State of West Virginia, Department of Administration**

SHCA Project No. 5827.D  
Addendum No. 3

To: All Bidders

Note: This Addendum is part of the Contract Documents. It modifies Specifications dated November 17, 2008 (Revised February 23, 2009) and Drawings dated November 17, 2008.

Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may result in the disqualification of your Bid.

Revisions to Contract Documents as listed below:

**ARCHITECTURAL:**

DWG/SPEC Title	Description	Date
TOC	Table of Contents has been revised to include additional sections, 01030 – Alternates and 01210 – Allowances.	April 16, 2009
Section 00400 – Bid Form	Removed Contractor requirement to mark the lower left hand of the envelope with the Project Name (removed from pages 1 and 6). Remove List of Proposed Subcontractors from Bid Form. A separate Subcontractor Form has been created and is to be included with bid submission after Section 00400 and before Section 00500. Revise Base Bid to include a cubic foot unit price (CF) for concrete substrate removal and reinstallation below the terrazzo flooring at the exterior balconies. Include unit price to remove and replace brick at Window #5001. Include unit price to replace limestone sill and associated flashing at Window #5001. Include unit price to scrape and paint exposed lintel at Window #5001. Included unit price to remove and replace steel window heads, associated with detail ST (LI) 01c.	April 16, 2009
Section 01030 – Alternates	Include Alternate #1 to Base Bid. All Bidders are required to include. Alternate #1 (plumbing/drainage at terrazzo balconies) was added.	April 16, 2009
Section 01210 - Allowances	This Section has been added to the Contract Documents.	
T-2	Increase Base Bid quantities for masonry cleaning by 8,400 SF (4,200 SF for each wing) to include the tops and rears of all balustrades in addition to the interiors of the east and west portico entrances. All exposed limestone shall be included for cleaning. As part of detail ST (LI) 01c, Contractor shall include price to cut out and replace fifteen (15) steel window heads. Locations to be confirmed and verified in field on a case by case basis with the Architect, Owner and Engineer.	April 16, 2009

In addition to the above addendum, on the following pages is a list of questions and responses from the pre-bid conference.

Addendum No. 3  
 To West Virginia State Capitol Masonry Restoration and Repair Project – East and West Buildings  
 Date April 16, 2009  
 Page 2

**ITEM QUESTION**

**RESPONSE**

- 1 In Section 08510 of the project specifications it says on page 4 Section 3.1.D: "Hazardous materials may exist at the windows including, but not limited to, lead based paint and asbestos containing sealant and putty."  
  
 1. Does the paint contain lead?  
 2. Does the putty contain asbestos?  
 3. What do you consider putty, glazing or caulking. Please be specific if the answer to question number 2 above is yes.

The GSD performed testing of representative materials and sample locations of the steel window assemblies of the east and west wings. As per the test results, the paint does contain lead and must be treated accordingly. The putty/glazing/caulking testing negative for ACM.
- 2 Are there any testing requirements on this project that are the responsibility of the Contractor?

No. If the contractor suspects any ACM or other hazardous material not identified on the base bid or in the addenda to base bid, Contractor to notify GSD, who will provide Hazmat testing.
- 3 On the windows that are covered with grating, example in the stairwells, the bird netting that is attached. Does it come off as a part of the window work? If it does come off, is it required to replace it after work to this grating and window system is complete.

Any existing bird netting attached to the cast iron window grating covers shall be removed. The Contractor is not responsible to reinstall bird protection at these locations.
- 4 Have any destructive investigative probes been performed at the terrazzo balcony floors. How do we address unforeseen conditions related to the concrete substrate or drain? Clarify scope for bidding.

No destructive investigative probes have been performed at these locations. For bidding, Contractors shall assume that 50% of the concrete substrate bedding under the terrazzo is deteriorated and requires removal and reinstallation with new. Contractor shall protect the existing drain as required and shall notify the Owner and Architect immediately of any deterioration of the drain observed during the terrazzo floor assembly removal. Unit price for the concrete work shall be cubic feet (CF), as added to the Bid Form, Section 00400.
- 5 The Main Building, 2<sup>nd</sup> Floor Terrazzo Balcony shows two (2) drains (typ.) at each balcony. The East/West Building Terrazzo Balcony Plan shows what appears to be two (2) drains, but one is not marks. Please clarify.

Yes, each balcony (two (2) on Main Building and two (2) on the East/West) has two drains.  
  
 Repairs to all the plumbing and drainage at the terrazzo balconies shall be addressed in Sections 01030 – Alternates and 01210 – Allowances.
- 6 Please clarify the overall depths of the Terrazzo Balconies. The plan is labeled 6'-9" E&W and 6'-5" Main Building. This actually scaled to 16' from the back of the columns' base. Please clarify/quantify the S.F. of Terrazzo replacement on each balcony type.

Assume both Main Building and East/West Terrazzo balconies have a depth of two (2) feet as per detail 2/A-504a. The plans on Sheet A-504a are labeled correctly. The approximate S.F. of each East/West Terrazzo balcony is 84 S.F. and 70 S.F at each Main Building Terrazzo balcony.

Addendum No. 3  
 To West Virginia State Capitol Masonry Restoration and Repair Project – East and West Buildings  
 Date April 16, 2009  
 Page 3

ITEM	QUESTION	RESPONSE
7	Will alternate paint systems be accepted for the steel windows?	For the steel windows, Contractor shall bid the Tnemec paint system specified in Section 09900, Article 3.11.A.1. This system was selected following a mock-up. Approved color is “black”. Selected bidder shall be required to complete additional mockups in accordance to project specifications.
8	Are there minimum working hours?	There are no minimum working hours. The regular hours that the Capitol is open is from 7:00 a.m. to 7:00 p.m.
9	Are the undersides of the east and west porticos to be cleaned? What about the tops and rears of balustrade at roof level and at balconies?	Yes. Undersides of east and west porticos, and all balustrades shall be cleaned with JOS system in accordance with Contract Documents. Refer to T-2 for revised cleaning quantity to address all exposed limestone for cleaning.
10	Can trucks and equipment be driven across the site? Is there any parking on the site?	Contractor is responsible to protect all landscaping from vehicular impact. While access around the building is available, the Owner is concerned about damage to lawns and landscaping. Some access restrictions will apply. GSD will provide fiberglass matting to the extent that they have available. The quantity, size and type shall be made available to the Contractor, but the Contractor is responsible for making up any shortcomings. Contractor responsible to repair any landscaping damaged due to construction activities.
11	Is additional landscaping protection required due to the JOS cleaning activities?	Yes. Contractor shall be required to protect all grass and surrounding landscaping from JOS blasting media residue. Pending mockup and Owner/Architect review, acceptable methods include plywood or tarp to capture excess blasting media.
12	Are there restrictions to the use of swing-staging, scaffolding, etc.?	Mobilization is considered “means and methods”. While the use of swing-staging is acceptable, the Contractor shall have a registered engineer, licensed in the State of WV, approve the anchorage plans. Provided mobilization meets requirements of this Project, there is no restriction as to the type(s) of mobilization the Contractor may use to access the project areas. The Contractor shall protect structure and be responsible for damage.
13	Clarify the scope for the new cast bronze fixtures.	Contractor shall replicate the six missing hanging fixtures to match the existing historic sconces (three at east wing – see A-234 and three at north wing – see A-238). Contractor shall assume that the new fixtures shall be composed of two different bronze alloys. Intention is to match appearance of the recently restored scones on the north elevation of the Main Building.
14	Clarify how limestone patching calculated. Does one (1) SF on the T-2 and on individual elevations sheets refer to one (1) patch?	For Bidding, Contractor shall assume average patch size is 0.20 SF. Therefore, contractor shall assume there will be five (5) patches per SF. The T-2 identifies 350 SF of patching for ST (LI) 02. During construction, Contractor to assume that this will translate into 1,750 specific patch locations. As per T-2, the quantities can be applied throughout the building’s surface at any location.

**ITEM QUESTION**

**RESPONSE**

15 Please define/clarify the responsibilities of the Contractor in relation to the responsibilities of the GSD, with regards to moving and replacing window treatments, office furnishings, etc. before and after window restoration.

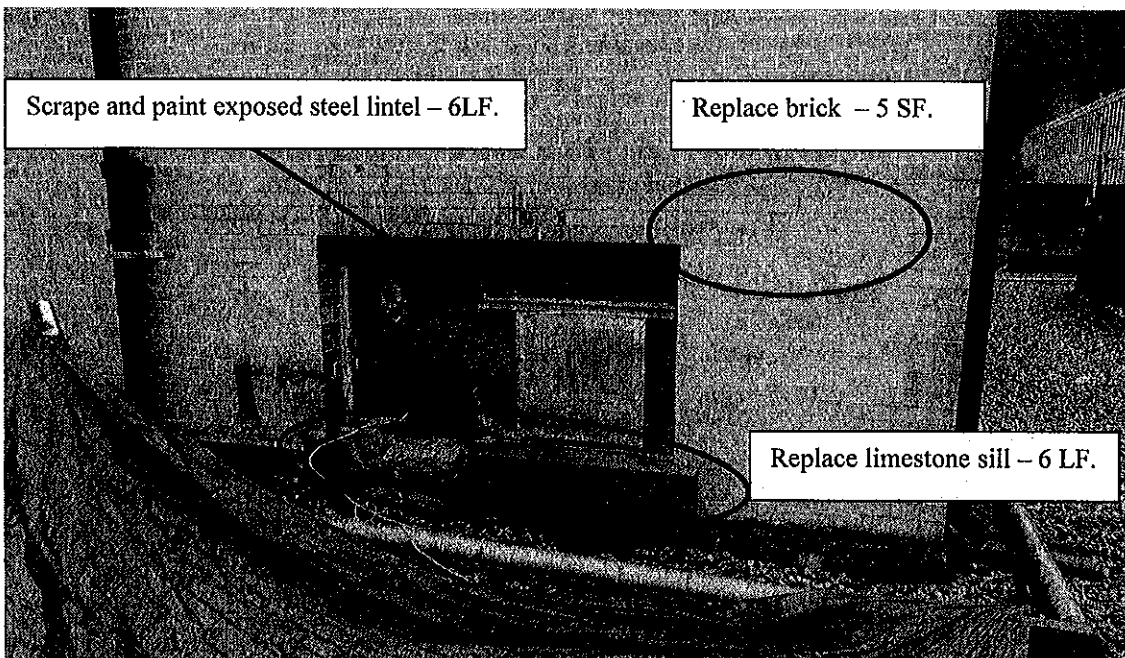
Ultimately, it is the Contractor’s responsibility to make sure they have access around window openings to provide adequate protection and work. GSD shall assist with notifying tenants with schedule issues and asking tenants to clear desk tops from papers and miscellaneous items to prevent damage. The GSD will assist with moving computers, but not desks or other furniture, which will be the responsibility of the Contractor.

Because spaces are occupied, Contractor will need to accommodate tenant schedules by performing the certain aspects of work before and after office hours or during lunch breaks. Whenever possible, GSD shall help facilitate temporary tenant spaces for relocation, but this is unlikely to occur often.

In addition, Contractor shall remove all window treatments for on-site storage coordinated with GSD for subsequent reinstallation by Contractor.

16 Window #5001 on the east wing roof has a damaged sill and minor brick displacement. Work scope is not identified on the drawings. Please clarify if any work is to be done at this location.

Contractor to include on bid form fee to replace 6 LF of limestone sill, including all associated flashing. The exposed steel lintel is to be scraped and painted (6 LF) and an area of 5 SF of brick shall be replaced. Refer to photo below for clarification. The Contractor is not responsible to install new window at this location. Window infill will be provided separately by the GSD.



End of Addendum #3

WEST VIRGINIA STATE CAPITOL  
 MASONRY CLEANING & REPAIR PROJECT - EAST AND WEST BUILDINGS  
 SHCA PROJECT #: 5827.D

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WEST VIRGINIA STATE CAPITOL  
MASONRY CLEANING & REPAIR PROJECT - EAST AND WEST BUILDINGS  
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WEST VIRGINIA STATE CAPITOL  
MASONRY CLEANING & REPAIR PROJECT - EAST AND WEST BUILDINGS  
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**SECTION 00400 - BID FORM**

PROJECT MASONRY CLEANING & REPAIR PROJECT  
WEST VIRGINIA STATE CAPITOL  
CHARLESTON, WEST VIRGINIA

SUBMISSION PLACE  
State of West Virginia  
Department of Administration  
Purchasing Division  
2019 Washington Street East  
Post Office Box 50130  
Charleston, WV 25305-0130  
Attn: Krista Ferrell, Senior Buyer  
Tel.: (304) 558-2596

BID FOR: \_\_\_\_\_  
(Bidder's Name)  
  
\_\_\_\_\_  
(Bidder's Address)  
  
\_\_\_\_\_  
(Date)

The undersigned, in compliance with the "Instructions to Bidders," having examined the Drawings and Specifications prepared by Swanke Hayden Connell Architects and related documents, visited the site of the proposed Work, and being familiar with all of the conditions surrounding the construction of the proposed Project, including availability of materials and labor, proposes to furnish labor, services, equipment and material and to perform work required for the construction of the above referenced Project for the consideration of the following amount:

BID AMOUNT, (STIPULATED SUM), SUM OF:  
  
\_\_\_\_\_ Dollars (\$\_\_\_\_\_)

WEST VIRGINIA STATE CAPITOL  
MASONRY CLEANING & REPAIR PROJECT - EAST AND WEST BUILDINGS  
SHCA PROJECT #: 5827.D

ALTERNATES

The stated Base Bid is subject to the following addition for Alternates, which the Owner may select. Alternates shall comply with requirements of Section 01030 of the specifications.

ALTERNATE #1: Plumbing and Drainage at the Four Terrazzo Balconies (Main Building and East/West)

ADD: \_\_\_\_\_ Dollars (\$ \_\_\_\_\_)

The undersigned stipulates hereby that this Bid will remain valid for ninety (90) days from the above submission date or any postponement therefrom.

UNIT PRICE

ID	DESCRIPTION	UNIT	PRICE
---	Masonry Cleaning (With JOS Quintex Micro-Abrasive and Selected Biocide)	SF	
---	Prep and Paint Concealed Structural Steel	SF	
BR 03a	Brick Restitching @ Behind Parapet Wall, West Building	SF	
BR 03a	Brick Restitching at Window #5001, East Building	SF	
-----	New Limestone Sill (6 LF) and Flashing, Window #5001	EA	
-----	Scrape and Paint exposed Steel lintel, Window #5001	EA	
ST (LI) 01a	Limestone Crack Repair	LF	
ST (LI) 01b	Limestone Crack Repair with Helical Ties	LF	
ST (LI) 01c	Limestone Lintel Repair – Crosspinning	LF	
----	Remove and Replace Steel Window Heads, associated with detail ST (LI) 01c	EA	
ST (LI) 01d	Limestone Repair – Lift and Pin Keystone, 1 <sup>st</sup> Floor	EA	
ST (LI) 01e	Limestone Pilaster Reinforcing	EA	
ST (LI) 02a	Limestone Spall Repair	SF	
ST (LI) 02b	Limestone Spall Repair with Pins	SF	
ST (LI) 03	Limestone Dutchman	SF	
ST (LI) 04b	New Limestone Unit @ Lintel	EA	
ST (LI) 05	Reset Limestone Parapet Coping at Balcony	EA	

WEST VIRGINIA STATE CAPITOL  
MASONRY CLEANING & REPAIR PROJECT - EAST AND WEST BUILDINGS  
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PO 02	Limestone Repointing	LF	
SE 01	Sealant @ Window Perimeter	LF	
SE 02	Lead Joint Caps at horizontal masonry joints	LF	
SE 03	Sealant Installation @ Limestone Vertical Corner Crack	LF	
PR 01	Bird Netting at Underside of Porticos/Balconies & Columns	SF	
TZ 01	New Terrazzo Floor at East, West & Main Building Balconies	EA	
---	Removal and Reinstallation of concrete substrate below the terrazzo flooring at the exterior balconies.	CF	
---	Rehabilitate Double-Hung Steel Windows (Types K-V), including temporary protection of opening	EA	
---	Rehabilitate Casement Window (Type W), including temporary protection of opening	EA	
---	Rehabilitate Casement Window (Type X), including temporary protection of opening	EA	
---	Rehabilitate Casement Window (Type Y), including temporary protection of opening	EA	
---	Rehabilitate Casement Window (Type Z), including temporary protection of opening	EA	
---	Rehabilitate Casement Window (Type AA), including temporary protection of opening	EA	
---	Rehabilitate Transom Windows Above Entrances, including temporary protection of opening	EA	
---	Rehabilitate Sconces, including Fabrication of all Missing Elements	EA	
---	Fabricate New Hanging Sconce Fixtures to match finish and materials of recently restored sconces at the north elevation of the Main Building	EA	
---	Restore ADA Wood Doors, including Existing Hardware and new replacement hardware	EA	
---	Restore Wood Doors, including Existing Hardware and new replacement hardware	EA	
---	Restore Cast Iron Grilles, including finish and attachment	EA	
---	Refinish Bronze Grilles @ Entrance Vestibule	EA	
---	Pipe Scaffolding at Elevations from Ground Level	SF	
---	Hanging Scaffold Drop	EA	

WEST VIRGINIA STATE CAPITOL  
 MASONRY CLEANING & REPAIR PROJECT - EAST AND WEST BUILDINGS  
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TOTAL BID BREAKDOWN (Including Overhead and Profit)

SECTION	DESCRIPTION	COST
	Scaffolding / Rigging / Mobilization	\$
02070	Removal Work, Selective Demolition and Protection	\$
02222	Protection, Salvage and Removal of Historic Elements	\$
04100	Mortar and Repointing	\$
04520	Stone Restoration	\$
04902	Masonry Cleaning	\$
05120	Structural Steel	\$
05910	Treatment of Historic Ornamental Metal	\$
07920	Joint Sealant	\$
08150	Wood Door and Trim Restoration	\$
08510	Steel Window and Cast Iron Grille Restoration	\$
08880	Glazing	#
09401	Portland Cement Terrazzo Flooring	\$
09890	Coating Removal	\$
09900	Painting	\$
10296	Bird Deterrent Netting	\$
	Lighting Fixtures and Lamps	\$
	General Conditions/Requirements	\$
	Building Department Permits, Etc.	\$
	Insurance	\$
<b>TOTAL</b>		<b>\$</b>

WEST VIRGINIA STATE CAPITOL  
MASONRY CLEANING & REPAIR PROJECT - EAST AND WEST BUILDINGS  
SHCA PROJECT #: 5827.D

REJECTION OF BID

The undersigned acknowledges the Owner's right to reject bids, to reject subcontractors or firms, and to waive informalities in the bidding.

LIQUIDATED DAMAGES

Liquidated damages will be assigned at the rate of \$500.00 per day for every calendar day, beyond the time period stated herein, that the work of this contract remains incomplete.

NOTICE OF ACCEPTANCE

The undersigned designates the person and office, to which Notice of Acceptance may be mailed, telegraphed or delivered:

Respectfully submitted,

BY  
(Signature)

FIRM

ADDRESS

DATED:

NOTE: Type under signature the name and title of signing officer. If Bidder is a corporation, write State of Incorporation under firm address, and if a partnership, give full name of parties.

DIRECTIONS FOR MAILING BIDS

Envelope containing Bid should be sealed, marked and addressed as follows:

ADDRESS: State of West Virginia  
Department of Administration  
Purchasing Division  
2019 Washington Street East  
Post Office Box 50130  
Charleston, WV 25305-0130  
Attn: Krista Ferrell, Senior Buyer

TIME OF RECEIPT

Date

Time

## SECTION 01030 - ALTERNATES

### PART 1 - GENERAL

#### 1.1 SUMMARY

- A. This Section includes administrative and procedural requirements governing Alternates.

#### 1.2 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section, except as modified herein.

#### 1.3 DEFINITIONS

- A. Definition: An alternate is an amount proposed by bidders and stated on the Bid Form for certain work defined in the Bidding Requirements that may be added to or deducted from the Base Bid amount if the Owner decides to accept a corresponding change in either the amount of construction to be completed, or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
1. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate the Alternate into the Work. No other adjustments are made to the Contract Sum.

#### 1.4 PROCEDURES

- A. Coordination: Modify or adjust affected adjacent Work as necessary to completely and fully integrate that Work into the Project.
1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not mentioned as part of the Alternate.
- B. Notification: Immediately following the award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate whether alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated modifications to alternates.
- C. Execute accepted alternates under the same conditions as other Work of this Contract.
- D. Costs: Costs listed for each alternate include costs of related coordination, modification or adjustment.

WEST VIRGINIA STATE CAPITOL  
MASONRY CLEANING & REPAIR PROJECT - EAST AND WEST BUILDINGS  
SHCA PROJECT #: 5827.D

- E. Schedule: A "Schedule of Alternates" is included in Part 3 of this Section. Specification Sections referenced in the Schedule contain requirements for materials necessary to achieve the Work described under each alternate.

**PART 2 - PRODUCTS (Not Applicable)**

**PART 3 - EXECUTION**

**3.1 SCHEDULE OF ALTERNATES**

- A. Alternate No. 1: All plumbing and drainage repairs and or replacement associated with terrazzo balcony floors.
1. Include Allowance No. 1 as described in Section 01210 – Allowances.
  2. Include Contractor's overhead and profit associated with the work of this Allowance as calculated by Article 7.3.9 of the State of West Virginia Supplementary Conditions.

**END OF SECTION 01030**



## SECTION 01210 - ALLOWANCES

### PART 1 - GENERAL

#### 1.1 SUMMARY

- A. Section includes administrative and procedural requirements governing allowances.
- B. Scope of Allowance: The Allowance is to cover the cost of repairing and or replacing all plumbing and drainage as necessary under and behind the terrazzo floors at all four balconies. All testing and investigative probes related to the plumbing are included in the Allowance. Without having performed invasive probes prior to preparing and issuing the Contract Documents for Bid, the underlying conditions of the substrate and the drainage were not known and therefore not available for inclusion as prescriptive repairs with known scope parameters. The Construction Document details were based on the original construction drawings and visual surface assessments. As part of the Addenda #2 and based on the best information known at the time, an assumption has been made that 50% of the concrete substrate requires replacement. It is possible that the plumbing and drains are in fine condition; however they may require partial or total replacement. This will be impossible to determine until the flooring is removed.
  - 1. Allowances and associated costs constitute Bid Alternate No. 1. Reference Section 01030 – Alternates.
- C. Related Documents:
  - 1. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

#### 1.2 SELECTION AND PURCHASE

- A. At the earliest practical date after award of the Contract, advise Architect of the date when final selection and purchase of each product or system described by an allowance must be completed to avoid delaying the Work.
- B. At Architect's request, obtain proposals for each allowance for use in making final selections. Include recommendations that are relevant to performing the Work.
- C. Purchase products and systems selected by Architect from the designated supplier.

#### 1.3 SUBMITTALS

- A. Submit invoices to show actual quantities and cost of materials delivered to the site for use in fulfillment of each allowance.
- B. Submit time sheets and other documentation to show labor time and cost for installation of allowance items that include installation as part of the allowance.

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- C. Coordinate and process submittals for allowance items in same manner as for other portions of the Work.

#### 1.4 COORDINATION

- A. Coordinate allowance items with other portions of the Work. Furnish templates as required to coordinate installation.

#### 1.5 LUMP-SUM ALLOWANCES

- A. Allowance shall include cost to Contractor for to repair and replace all plumbing conditions below and behind the terrazzo balcony floors, associated with the base bid terrazzo floor replacement work.
  - 1. Allowance is not intended to cover Contractor's overhead and profit associated with the plumbing work. Contractor's overhead and profit shall be calculated according to Article 7.3.9 of the State of West Virginia Supplementary Conditions bound in the Contract Documents, and any required adjustments to the Contract shall be executed with a Change Order.
- B. Unless otherwise indicated, Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials under allowance shall be included as part of the Contract Sum and not part of the allowance.
- C. Allowance shall include any testing and inspection of the existing balcony drainage systems, including where the drainage is connected to the buildings.

#### 1.6 ADJUSTMENT OF ALLOWANCES

- A. Allowance Adjustment: To adjust allowance amounts, prepare a Change Order proposal based on the difference between purchase amount and the allowance. If applicable, include reasonable allowances for cutting losses, tolerances, mixing wastes, normal product imperfections, and similar margins.
  - 1. Include in the Change Order Proposal all proposed amounts for Contractor's overhead and profit.
  - 2. If requested, prepare explanation and documentation to substantiate distribution of overhead costs and other margins claimed.

#### PART 2 - PRODUCTS (Not Used)

#### PART 3 - EXECUTION

##### 3.1 EXAMINATION

- A. Examine products covered by an allowance promptly on delivery for damage or defects. Return damaged or defective products to manufacturer for replacement.

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**3.2 PREPARATION**

- A. Coordinate materials and their installation for each allowance with related materials and installations to ensure that each allowance item is completely integrated and interfaced with related work.

**3.3 DOCUMENTATION**

- A. Contractor shall be required to document expenses separately for any work associated with the plumbing/drainage of the terrazzo balconies. If the cost to successfully complete the associated work is less than the Allowance sum, a deductive change order shall be prepared per Bid Alternate No. 1.

**3.4 SCHEDULE OF ALLOWANCES**

- A. Allowance No. 1: Lump Sum Allowance: Include the sum of two hundred, fifty thousand dollars (\$250,000.00) to cover repairing and or replacing all plumbing associated with the terrazzo balcony floor replacement.

**END OF SECTION 01210**