



State of West Virginia
 Department of Administration
 Purchasing Division
 2019 Washington Street East
 Post Office Box 50130
 Charleston, WV 25305-0130

Request for Quotation

RFQ NUMBER
DNR209090

PAGE
1

ADDRESS CORRESPONDENCE TO ATTENTION OF
FRANK WHITTAKER
304-558-2316

RFQ COPY
TYPE NAME/ADDRESS HERE

VENDOR

SHIP TO

DIVISION OF NATURAL RESOURCES
ELKINS OFFICE
RANDOLPH CENTER - SUITE 222
1200 HARRISON AVENUE
ELKINS, WV
26241

DATE PRINTED	TERMS OF SALE	SHIP VIA	F.O.B.	FREIGHT TERMS
02/22/2009				

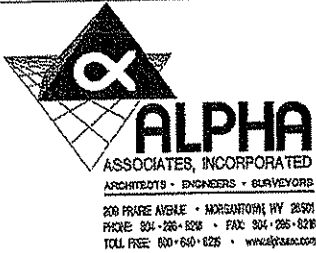
BID OPENING DATE: **03/12/2009** BID OPENING TIME **01:30PM**

LINE	QUANTITY	UOP	CAT NO	ITEM NUMBER	UNIT PRICE	AMOUNT
***** ADDENDUM NO. 4 *****						
THIS ADDENDUM IS ISSUED TO PROVIDE THE ATTACHED.						
1) CORRECTIONS/ADDITIONS TO THE PROJECT MANUAL,						
2) CORRECTIONS/ADDITIONS TO THE PROJECT DRAWINGS,						
3) TECHNICAL QUESTIONS & ANSWERS,						
4) MANDATORY PRE-BID MEETING SUMMARY AND PRE-BID SIGN IN SHEET						
BID OPENING DATE AND TIME HAVE NOT CHANGED.						
BID OPENING 03/12/09 AT 1:30 PM						
0001	1	LS		968-42		
GENERAL CONSTRUCTION						
***** THIS IS THE END OF RFQ DNR209090 ***** TOTAL: _____						

SEE REVERSE SIDE FOR TERMS AND CONDITIONS

SIGNATURE		TELEPHONE		DATE
TITLE	FEIN	ADDRESS CHANGES TO BE NOTED ABOVE		

WHEN RESPONDING TO RFQ, INSERT NAME AND ADDRESS IN SPACE ABOVE LABELED 'VENDOR'



Addendum No. 4
Berkeley Springs Bath House
DNR 209090

DEPT. of Natural Resources
Additions and Alterations to
Berkeley Springs Bath House

AAI PROJECT NO.: 0408097.02
DNR-209090
February 12, 2009

TO ALL BIDDERS:

1.0 GENERAL NOTES:

- .01 This Addendum is part of the Contract Documents for the Project.
- .02 Acknowledge receipt of this Addendum on the Form of Proposal in the space provided. Failure to do so may be cause for rejection of bid.
- .03 A Mandatory Pre-Bid Conference was held on February 10, 2009. Copies of the Pre-Bid Conference Minutes and Attendance List are appended to this Addendum.
- .04 The bid opening time and date has been **changed**, and is due on Thursday, March 12, 2009 at 1:30PM.

2.0 CORRECTIONS/ADDITIONS TO THE PROJECT MANUAL:

- 2.01 Section 07531-EPDM Roofing; 2.1.A.2 Thickness
OMIT: 45 mils
ADD: 60 mils
- 2.02 Section 07531-EPDM Roofing; 3.4
OMIT: 3.4 Mechanically Fastened Membrane Roofing Installation
- 2.03 Section 12355-Institutional Casework-Solid Surface Material; 2.01.C
OMIT: "Provide shelf complete with backsplash of size shown on the architect's drawings." ... "and backsplash" Note, there is no back splash.



3.0 CORRECTIONS/ADDITIONS TO THE PROJECT DRAWINGS:

- 3.01 Sheet A-6.2; Frame Detail Type F-4
ADD: See AD-001 attached. Type F-4 has 4 transom lites.
- 3.02 Sheet A-0.2; General Demolition Notes
ADD: "25. Retain rabbetted metal door frames when removing doors, unless otherwise noted."
- 3.03 Sheet A-4.6; Elevations 1,2,3/A-1.1
MODIFY: See AD-002 attached.
OMIT: 6 x 6, **ADD:** 3 x 6
ADD: Height dimension of tile.
ADD: Typical Shower Tile Pattern, Rooms 123,124,144,145,158
- 3.04 Sheet A-6.1; Room Finish Schedule
MODIFY: Room No. 122, 123, 124, 137,144,145,158,160 See AD-002 attached.

4.0 QUESTIONS AND ANSWERS:

- 4.01 Q: Is the entire Request for Quotation package to be submitted with the Bid Forms? How many copies?
- A: Return the entire Request for Quotation package, ensure the Form of Proposal is filled out, and all other data asked for is also filled out. Only one copy is required.
- 4.02 Q: The Request for Quotation indicates Builders Risk (by Contractor) is not a requirement. However, the Supplementary Conditions, Page 7 of 9, Paragraph 11.4 indicates the Contractor is responsible for Builder's Risk. Please clarify.
- A: The Request for Quotation supercedes the Supplementary Conditions. Builder's Risk is NOT required for this project.
- 4.03 Q: Specification 08110.2.1 lists Ceko, Curries and Steelcraft as acceptable manufacturers. Dwg. A6.2 jamb details J1-J5 shows a detail that is available only from Curries. Confirm that Ceko and Steelcraft products do not meet the profile specification or is the standard rectangular profile acceptable?
- A: Please see Section 3.02 above. Ceko and Steelcraft do not meet the specification for the J-1 thru J-5 styles.
- 4.04 Q: Dwg. A6.2, F-4 shows a transom with two lites. Dwg. A3.1 and A4.6 shows a transom detail with four lites. Please clarify.
- A: Drawing of Door D101 as shown on A-3.1 and A-4.6 is correct. Please see AD-001 attached. See 3.01 above.



4.05 Q: On Division 12 Spec page 12355-2 2.01/C states (Provide shelf complete with backsplash of size shown on architect's drawings) but only see spec on shelf does not show any details on a splash on the architectural Drawings. Could you please clarify?

A: There is no back splash. See Section 2.03 above.

4.06 Q: Could a clarification be given for re-pointing of general notes 4 thru 6 on drawings A-2.1 and A-2.2? From the attached photo's, which re-pointing procedure is to be used for bidding purposes?

A: For bidding purposes, calculate all top and bottom bonds as well as coursing, for those areas listed in the drawings.

4.07 Q: Will there be additional brick replacement at areas other than indicated on drawings?

A: There may be. That is why we are seeking a unit price on re-pointing, which is to be filled in on the Form of Proposal. Additional brick replacement would occur by change order, based on the listed unit price of the bid submission.

4.08 Q: The specifications for the above referenced project indicate that the owner will hire the quality control testing and inspection services (Section 1400). Is this in fact the case or will the awarded general contractor be required to hire these services? If it is the owner, when will that solicitation come out? This is a small project and the projected costs of the testing and inspection would fall below \$5,000.00.

A: Section 01400 pertains to Quality expectation, and does not reference testing and inspection services. Testing and balancing is listed in Section 15950, and it is very clear that the contractor pays for the third party testing.

4.09 Q: Is this prevailing wage ?

A: Yes, 2009.

4.10 Q: Clarify roof system
1. .045 mil or .060 mil EPDM ?
2. Mechanically anchored or adhered?

A: Provide 60 mil, non-reinforced, fully adhered. See Section 2.01 and 2.02above.

4.11 Q: What is existing roof system?

A: Unknown manufacturer.



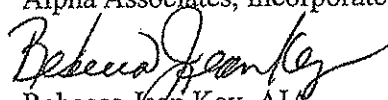
- 4.12 Q: Is existing roof system under a manufacturer's warranty?
A: No.
- 4.13 Q: Are existing copings shop manufactured?
A: The successful bidder is responsible for verifying existing conditions in the field.
- 4.14 Q: Is bid due date being extended?
A: Bid due date has been extended to March 12, 2009.
- 4.15 Q: In E1.2-Rooms 122, 125, 137, 160. They all show some type of light that is not on the Luminaire schedule. Please advise as to what type of fixture this is and where they will be switched.
A: Rooms 122, 125, 137, 146, and 160 have lavatories (see sheet A1.1 or E1.1) and are light fixture type "K" as scheduled for a total of 10 fixtures mounted above the mirrors at each lavatory. All "K" fixtures in each room mentioned above will be switched from a common switch (not connected to the overhead lighting) near the lavatories; final switch locations by the Architect during construction.
- 4.16 Q: In E1.2-Room 160. It reflects an "E" fixture that is not on the Luminaire schedule. Please advise as to what type of fixture this is and where they will be switched.
A: The overhead light fixture in room 160 is to be fixture type "E" as scheduled and will be switched from the switch shown. As indicated in the answer above, the lav fixture "K" in this room will be separately switched from the overhead fixtures.
- 4.17 Q: RCP-Radiant Ceiling Panels- Is the Electrical Contractor to furnish or Mechanical Contractor?
A: The contract calls for radiant ceiling panels as part of the overall contract. Review coordination note #22 on sheet E1.1 and E1.2.
- 4.18 Q: On sheet A.4.6 elevation 3/A.1.1 it shows ceramic tile on the walls in rooms 122 and 160. However, the room finish schedule shows vinyl wall covering on walls...please clarify.
A: See clarification as addressed in AD-002 attached. See 3.03 above.



4.19 Q: There is no detail for wall tile for Rooms 123, 124, 144, 145, or 158. We need to know to what height they want the tile installed, how high does the tub and shower surround go?

A: See clarification as addressed in AD-002 attached. See 3.04 above.

Issued: February 12, 2009
Alpha Associates, Incorporated


Rebecca Jean Key, AIA



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- PB.01 Sign-in Sheet: Sign in Sheets were made available for all present to sign. They are attached at the end of this document.
- PB.02 Introduction of Parties: Don Smith, DNR; Project Manager, Craig Miller, MEI, Alex Hall, Alpha Associates, Construction Project Manager, R. Key, Alpha Associates, Project Architect; J. J. Steiner, Park Maintenance; Chris Hansworth, Park Superintendent.
- PB.03 Don Smith reviewed bidding requirements. 5% Bid Bond is due with the bid submission. 100% Performance Bond is required from the successful bidder. Liquidated damages of \$100 per day. General Liability is \$250K. See the project manual and the RFQ for more information.
- PB.04 Bid Date: March 12, 2009, 1:30 PM
- PB.05 Bid Location: WV State Purchasing Division, Building 15, 2019 Washington Street East, Capitol Complex, Charleston, WV 25305. Bid must be submitted on the Forms provided by the State of WV. Information is available from Frank Whittaker, Purchasing Agent: 304-558-2316.
- PB.06 Last day for Questions: Submit in Writing, to: Frank Whittaker
Frank.M.whittaker@wv.gov
 or via fax @ 304-558-4115
 Tuesday, February 24, 2009, 3PM You may copy questions to rkey@alphaaec.com
 Fax: 304-296-8245
- PB.07 Substitution Requests: Substitution Requests must be in by Tuesday, February 24th, 2009 3 PM, if not, no substitutions will be reviewed during construction.
- PB.08 Prevailing Wage: Use 2009 Prevailing Wage.
- PB.09 Contract completion: All work must be completed in the space within 240 consecutive calendar days, following receipt of owner's written Notice to Proceed.
- PB.10 Payment: Application for payment occurs at the end of the month. The first invoice usually takes 5 to 6 weeks to get the Contractor into the system. Subsequent pay applications are usually within 30 days or receipt.
- PB.11 Summary of Project: Renovation of approx. 7000 sq. ft. of 1920 and 1949 public bath/spa. Historic renovation and replacement of Mechanical, Plumbing and Electrical Systems.
- PB.12 Temporary Facilities: Water and Power on site is available for Contractor's use without metering or separate charge. Field Offices, General: Owner may make available space with in building for meetings, and as field office.
- Storage Trailer: General Contractor shall provide facilities needed to store tools and materials. Toilets: Use of Owner's existing toilet facilities will be permitted, as long as facilities are cleaned and maintained in a condition acceptable to Owner. At Substantial Completion, restore these facilities to condition existing before initial use. Review Division Section 01500 for complete information.



- PB.13 Permits: Yes, Obtain from the Police Dept. 304-258-1198 Ask for Barb, works until Noon. To obtain a permit, there must be two readings at City Council.
- PB.14 Business License: Obtain from Police Dept. 304-258-1198. Ask for Barb.
- PB.15 Sewer Dept.: 304-258-4118 Bath Town Hall, 271 Wilkes Street, 304-258-1102
- PB.16 Morgan County Planning Office, 210 Fairfax Street, 304-258-8540 No Requirements
- PB.17 B & O Tax: Not required.
- PB.18 Work Restrictions:
 On-Site Work Hours: Work shall be generally performed inside the existing building during normal business working hours of 7:00 a.m. to 3:30 p.m., Monday through Friday, except otherwise indicated.
 Weekend Hours: as required with prior written approval from DNR
 Early Morning Hours: as required with prior written approval from DNR
 Hours for Utility Shutdowns: Consult with Project Manager.
 Hours for Core Drilling or other noisy activity: No restrictions.
 Existing Utility Interruptions: Do not interrupt utilities serving facilities occupied by Owner or others unless permitted under the following conditions and then only after arranging to provide temporary utility services according to requirements indicated:
 Notify Owner not less than three 3 days in advance of proposed utility interruptions.
 Do not proceed with utility interruptions without Owner's written permission.
- PB.19 Tours of Facility: Sub-contractor, Contractor etc., may tour the facility for one hour everyday from 12:30 PM to 1 PM. Advance arrangements need not be made. See J. J. Steiner at the Park Office. 304-258-2711.
- PB.20 Craig Miller discussed the major system components of the facility.
 A. Gas tank is installed and owned by the Park. An electric vaporizer will be added by the Contractor and coordinated with the Propane supplier. This will come out in Addenda #5.
 B. The Park had to replace a boiler, replaced last Fall (2008). Part of the work will be to move that boiler and install a 2nd boiler that will have a 2 mil. Btu capacity.
- PB.21 Addenda: All addenda are issued by the State and posted on the WV Purchasing Web Site: <http://www.state.wv.us/admin/purchase/> The RFQ number is DNR209090. The addenda are listed in the link of the RFQ number. There have been 3 addenda so far, all dealing with pre-bid dates and bid dates. The first "technical" addenda, Addenda NO. 4 will go out with the Pre-Bid Meeting minutes, and sign-in sheets. It is hoped that it will be posted by Friday, Feb. 6th. If it is posted on the Alpha web site: www.alphaaec.com It is not considered to be official. Only the addendum that is from the State is considered "official".



QUESTIONS FROM THE FLOOR:

- Q.01 The floor is above a crawl space, how many ways in?
- A.01 There are 2, but one is filled with water. We will examine and let you know through addenda if we will install another access during the construction. The crawl space has about 3' to 5' of vertical space.

- Q.02 How is the water coming in from the spring shut down?
- A.02 There are functioning ball valves, that do not need replaced.

- Q.03 What about the electrical service?
- A.03 Allegheny Power is the provider. Electrical service will be a new underground from a new set of pole mounted transformers and pole to be installed by Allegheny. The existing service also ties in the Office and one other building. The existing service will be left in place until the new service is energized. The subfeed to the pool and office will be moved to the new service during a 12 hour outage occurring during the week; not the weekend.

- Q.04 Can old drawings be used?
- A.04 Drawings from the previous bids should not be used. There have been significant changes to the building since the last bid a year and half ago. The first bid received no submissions, due to the lack of response from Mechanical contractors. The second bid came in above the allowable budget. This time, the State has "funded" the project and an award is expected to be made.

Tour of Existing Facility

A tour of the facility was made available to all in attendance. It was stated that any questions that arose during the tour should be documented in writing and forwarded accordingly as previously discussed.

The above is considered to be an accurate account of my understanding of the discussions and/or events that took place at the Meeting. Participants are requested to advise this office, in writing, within ten (10) days of the issued date of these Minutes, of any errors or omissions. Otherwise, these Minutes are understood to be accepted by all parties receiving a copy of these Minutes and shall be considered as the Official Minutes of the Meeting.

The Formal Meeting adjourned at approx. 11:50 AM.

Alterations & Additions to Berkeley Springs Bath House



ASSOCIATES, INCORPORATED
 PROJECTS • DESIGN • SERVICES

AAI Project No. 0408097.02

SIGN-IN SHEET OF PREBID CONFERENCE

Owner: DNR-Parks & Recreation

Date: February 10, 2009

CONTACT INFORMATION

ATTENDEE NUMBER	TRADE			NAME and COMPANY	PHYSICAL ADDRESS (*)	CONTACT INFORMATION			
	GenCon	SubCon	Other*			PHONE	FAX	CELL	EMAIL
31	X			Denie m. Dailey W Henley Miller Contractors Inc	7899 Hedgesville Rd. of P.O. Box 945 Mt. View, WV 25546	304-267-8959	304-267-3847	304-676-7421	ddiley@whmcontractors.com
32	X			Tony Hoopes Miller & Anderson, Inc	18213 Mangrove Ave Hagerstown MD 21740	301-733-6765	240-213-5399		thoopes@mlherandarden.com

X Craig Miller 850 500th Ave 304-291-2234
 MEI COMPANY Morgantown, WV FAX 304-291-2246
 MEP Consultant 26501

X McDonald Smith 304-687-0300
 WV DNR Project manager FAX 304-687-0303

J.S. Steiner Berkeley Springs 304-258-2711
 Chris Hansworth STATE PARK " " " " " "

(*) - A/E, Owner, Rep. or Other Attendee

(**) - Physical Address necessary for UPS or FedEx delivery

Alterations & Additions to Berkeley Springs Bath House



AAI Project No. 0408097.02

CONTACT INFORMATION

DATE: February 10, 2009

PHYSICAL ADDRESS (*)

OWNER: DNR-Parks & Recreation

NAME and COMPANY

ATTENDEE NUMBER	TRADE			OWNER: DNR-Parks & Recreation		DATE: February 10, 2009		PHYSICAL ADDRESS (*)		AAI Project No. 0408097.02	
	GenCon	SubCon	Other	NAME and COMPANY		STREET		CITY		CONTACT INFORMATION	
1	✓			NAME	MARY RIVERTON	STREET	3195 KUDGETOP CIRCLE	PHONE	703-406-0960	CELL	703-406-0964
				COMPANY	MILSTONE CONSTRUCTION	CITY	STERLING	FAX	703-727-1839	CELL	703-727-1839
				NAME	TOM AND DEAN	STREET	PO BOX 18032	PHONE	703-598-2570	CELL	703-598-2570
				COMPANY	ALLEGANY PEST SERVICES	CITY	MORGANTHAU AVE	PHONE	304-894-2810	CELL	304-894-2810
				NAME	HARLEY SWITH	STREET	3289 WYNNEBETZLE RD	PHONE	717-762-1116	CELL	717-762-1116
				COMPANY	GOLD GENERAL CONTRACTOR	CITY	ZULLINGER	FAX	717-762-6582	CELL	717-762-6582
				NAME	CHUCK GEESMAN	STREET	PA 17272	PHONE	717-762-1151	CELL	717-762-1151
				COMPANY	WYNNEBAGO CONSTRUCTION INC.	CITY	215 WEST FIRTH STREET	FAX	717-765-4256	CELL	717-765-4256
				NAME	JONAS MALONE	STREET	PA, 17268	PHONE	717-729-3572	CELL	717-729-3572
				COMPANY	RH KAPP MECHANICAL	CITY	880 KELLY RD.	PHONE	301-724-6650	CELL	301-724-6650
				NAME	SEAN STRICKBECK	STREET	MD 21502	PHONE	301-724-2936	CELL	301-724-2936
				COMPANY	STS ELECTRIC, INC.	CITY	EMERSON @ rhkapp.com	PHONE	301-268-5371	CELL	301-268-5371
				NAME	SEAN STRICKBECK	STREET	MD 21502	PHONE	301-724-2936	CELL	301-724-2936
				COMPANY	STS ELECTRIC, INC.	CITY	EMERSON @ rhkapp.com	PHONE	301-268-5371	CELL	301-268-5371

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Alterations & Additions to Berkeley Springs Bath House



AAI Project No. 0408097.02

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TRADE

ATTENDEE NUMBER

Owner: DNR-Parks & Recreation

Date: February 10, 2009

NAME and COMPANY

PHYSICAL ADDRESS (*)

PHONE

FAX

CELL

E-MAIL

PHONE

FAX

CELL

E-MAIL

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FAX

CELL

E-MAIL

GenCon
SubCon
Other*

NAME
COMPANY

STREET
CITY
STATE/ZIP

STREET
CITY
STATE/ZIP

STREET
CITY
STATE/ZIP

STREET
CITY
STATE/ZIP

ATTENDEE NUMBER	TRADE	GenCon	SubCon	Other*	NAME and COMPANY	PHYSICAL ADDRESS (*)	PHONE	FAX	CELL	E-MAIL
7					TIM BERKINSON ELEM	10549 BONDVILLE PIKE	301 739 8480	301 739 7067		
					CAROLAS CONTRACTORS	HARRISBORO MD 21740				jbw@carolas-contractors.com
					ROSEN SKELLY	1310 PA AVE SE	202 543 3180	202 543 3167		
					VISTA CONTRACTORS	WASHINGTON DC 20007	202 543 3167			vista@vistacontractors.com
					PATRICK MCGUI	300 DOUGLAS LANE	301 261 9601			patrick.mcgui@verizon.net
					CUSTOM BUILT PAPERBROS, INC	Berkeley Springs WV 25711				cust@mbp-14prod.com
					JIMMY VOLLWER	2002 LEITCHSBURG PIKE	301-733-6000	301-733-7735		
					COMMUNIK SYSTEMS	Hagerstown, MD 20742	301-730-1369			evollwer@communicssystem.com
					JASON LARUE	1098 MARTINSBURG RD	301-667-1261	301-667-8645		
					FREDERICK BLOCK, BRICK & STONE	WINCHESTER VA, 22605	304-748-5920	304-748-8488		tlarue@frederickblock.com
					JOHN CLARK	310 DANEGL DR E	304-748-8488			
					LAMBERT DEVELOPMENT	Follensbee WV 26037	304-670-2340			plambardi@lambertdevelopment.com

OVER -

(*) - A/E, Owner, Rep, or Other Attendee

(**) - Physical Address necessary for UPS or FedEx delivery

Bobby Nichols
Beaver Mechanical Contractors

61 WEST UEE STREET
HAGERSTOWN, MD 21740

PHONE 301-790-1400
EXT - 301-799-8365
EMAIL bnl@beavermechanical.com

Alterations & Additions to Berkeley Springs Bath House



AAI Project No. 0408097.02

CONTACT INFORMATION

Date: February 10, 2009

PHYSICAL ADDRESS (*)

Owner: DNR-Parks & Recreation

NAME and COMPANY

TRADE

ATTENDEE NUMBER

ATTENDEE NUMBER	TRADE			OWNER: DNR-Parks & Recreation		DATE: FEBRUARY 10, 2009		AAI PROJECT NO. 0408097.02	
	GenCon	SubCon	Other*	NAME AND COMPANY		PHYSICAL ADDRESS (*)		CONTACT INFORMATION	
25	X			NAME	Edwin L. Briers	STREET	10033 Gouenore Lane	PHONE	301-797-7060
				COMPANY	Engel Contractors Inc	CITY	Williamport	FAX	301-797-7225
26	X			NAME	DAN RUEHART	STREET	16820-A BAKE ROAD	PHONE	301-582-0100
				COMPANY	BUILDING SYSTEMS, INC.	CITY	HAGERSTOWN, MD	FAX	301-582-1010
27				NAME	Scott Datson	STREET	36 Ricketts Dr.	PHONE	(540) 662-4164
				COMPANY	Charles Ricketts Const. Co, LLC	CITY	Winchester	FAX	(540) 722-6080
28				NAME	JOE SABOL	STREET	12348 ROCKWELL LANE	PHONE	(540) 877-4512
				COMPANY	ROCKWELL CONST. CO.	CITY	MECKESBURG	CELL	sdatson@chickets.com
29				NAME	Walter Fowler	STREET	2559 RT 88	PHONE	724 348-2000
				COMPANY	W.G. TOMKO	CITY	Finlyville P.A.	FAX	724 348-2001
30				NAME	John Yoder	STREET	16200 WINDMILL HILL	PHONE	301-729-0610
				COMPANY	Walter N. Yoder & Sons	CITY	PO Box 1337	FAX	301-729-0517
						STATEZIP	MD 21502	CELL	301-693-0610
						STATEZIP	MD 21502	EMAIL	Yoder@WNYoder.com

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(**) - "Physical Address necessary for UPS or FedEx delivery

Alterations & Additions to Berkeley Springs Bath House



SIGN-IN SHEET of PREBID CONFERENCE

ATTENDEE NUMBER	TRADE			Owner: DNR-Parks & Recreation NAME and COMPANY	Date: February 10, 2009	PHYSICAL ADDRESS (*)	CONTACT INFORMATION			
	GenCon	SubCon	Other*				PHONE	FAX	CELL	E-MAIL
13				Steve Bertie		5521 Tabler Station Rd	304-260-0935	304-260-0953	540-327-1121	7kg572p@envi@rol.com
13				T.A. Gorman Inc.		Inwood WV				
13				Betsy Delover		25428				
14		Electric		Big D Electric, Inc		302 Virginia Ave				
14				Bruce Knisely		Numberland MD				
15				Palmer Construction		188 Success Dr				
15				Carlos Ceballos		Medowellsburg				
16				Winchester Flooring		1855 Sweeney Rd				
16				Mike Stearts		Winchester VA				
17				S.M. Stearts & Assoc		201 Chase Dr.				
17						Hurricane WV 25526				
18			X	REBECCA KEY		209 Prairie Ave.				
18				ALPHA ASSOCIATES		Morgantown WV 26501				

AAI Project No. 0408097.02

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Alterations & Additions to Berkeley Springs Bath House



ASSOCIATES INCORPORATED
ARCHITECTS • ENGINEERS • DESIGNERS

AAI Project No. 0408097.02

CONTACT INFORMATION

DATE: February 10, 2009

OWNER: DNR-Parks & Recreation

NAME and COMPANY

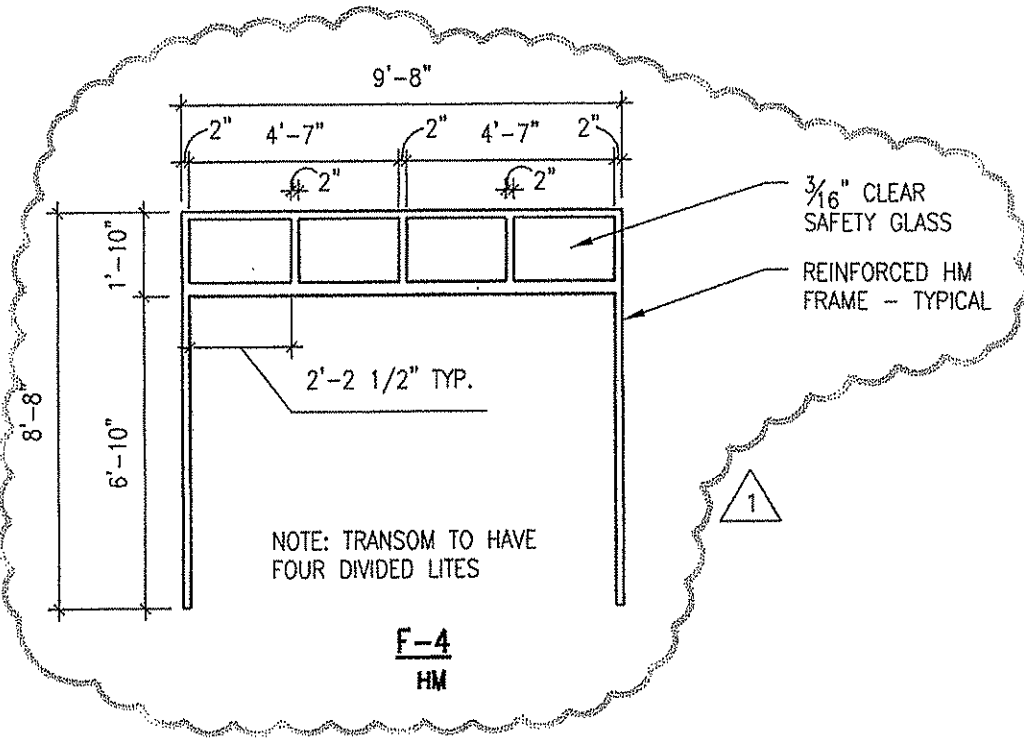
PHYSICAL ADDRESS (*)

ATTENDEE NUMBER	TRADE			NAME and COMPANY	STREET	CITY	STATE/ZIP	PHONE	FAX	CELL	E-MAIL
	GenCon	SubCon	Other								
19				Wm. Sudduth	449 N. Prospect St	Hagerstown Md	21741	301 745-3480	301 745-3528		dsuddu@alpha.net
				Dejean Ples	51 Trompet Lane			304-263-9988	304-263-0109		
				Craig A. Collis	25404	Martinsburg WV	Box 285	304-623-2573	304-326-2069		ccollis@mindfulwis.com
20				Wioshnie's Gen. Cont. Inc.	Clarkburg	WV	26301	304-884-8712	304-884-9714		BEAH@WVDSL.NET
				BEAV WENDERSON	CLARKSBURG	WV	26301	304-884-9714	304-884-9714		
21				CITY CONSTRUCTION COMPANY	CLARKSBURG	WV	26301	304-641-0298			
				MIKE TOMKELY	718 WILHELMINE DR			304-884-9714	304-884-9714		
22				W.V. POOR CONSTRUCTION	5746 LEW	WV	26378	304-884-9714	304-884-9714		
				MAJESTIC SURFACE CORP	6701 Democracy Blvd #300	BETHESDA, MD	20817	301 571-9330	240 238-2999		
23								240 372 7458			MARKY@MAJESTICSURFACE.COM
				DONALD W. PENNELL	1225 ROCK CLIFF AVE			304-506-9968			
				PITTSBORO, WV	Amherburg, WV	WV	26007	304-676-9806			dpennell@vahoo.com
24											

D PITSBORO, WV

(*) - A/E, Owner Rep. or Other Attendee

(**) - Physical Address necessary for UPS or FedEx delivery



NOTE: TRANSOM TO HAVE
FOUR DIVIDED LITES

F-4
HM

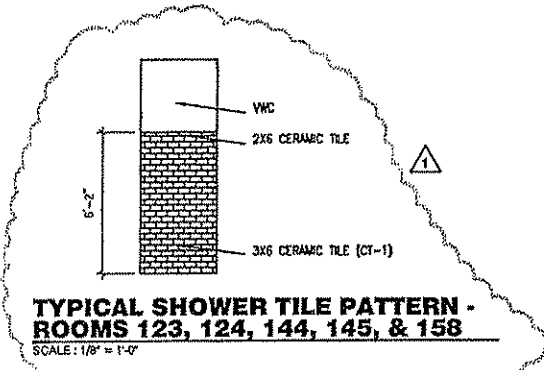
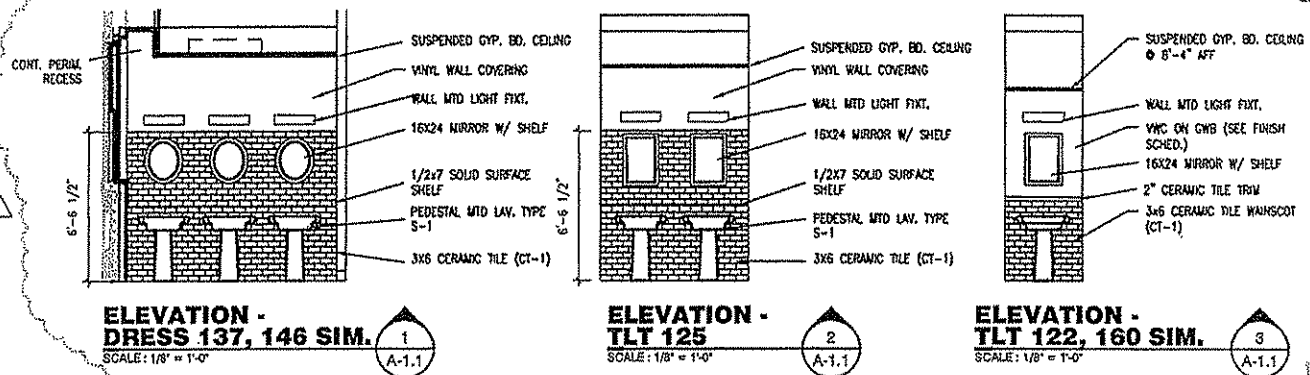


ADDENDUM DRAWING



209 PRAIRIE AVENUE
MORGANTOWN, WV 26501
PHONE/FAK: 304-296-8216
TOLL FREE: 800-640-8216
EMAIL: alpha@alphoac.com
HTTP: www.alphoac.com

REV. BY: RJK	DWG. DESCRIPTION: CORRECTION TO FRAME TYPE F-4	DWG. NO: AD-001
DWG. BY: RTL		PBI NO: ---
DATE: 2-12-2009		SHEET REF: A-6.2
PROJECT NAME: ALTERATIONS & UPGRADES TO THE BERKELEY SPRINGS BATH HOUSE		PROJECT NO: 0408097.02



ADDENDUM DRAWING

ALPHA
ASSOCIATES, INCORPORATED
ARCHITECTS • ENGINEERS • SURVEYORS

209 PRAIRIE AVENUE
MORGANTOWN, WV 26501
PHONE/FAX: 304-296-8216
TOLL FREE: 800-640-8216
EMAIL: alpho@alphoecs.com
HTTP: www.alphoecs.com

REV. BY: RJK	DWG. DESCRIPTION: TOILET & SHOWER TILE DETAILS	DWG. NO: AD-002 1 OF 2
DWG. BY: RTL		PBI NO: --
DATE: 02-12-09		SHEET REF: A-4.6
PROJECT NAME: ALTERATIONS & UPGRADES TO THE BERKELEY SPRINGS BATH HOUSE		PROJECT NO: 0408097.02

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLR.	BASE	WALLS				CEILING		NOTES	ROOM NO.
				N	E	S	W	MAT'L	HEIGHT		
122	TLT.	CT3	CTB	WVC-2	WVC-2	WVC-2/CT-1	WVC-2	PGB	8'-4"	--	122
123	SHWR.	CT2	CTB	CT1	CT1	CT1	CT1	PGB	8'-4"	9	123
124	SHWR.	CT2	CTB	CT1	CT1	CT1	CT1	PGB	8'-4"	9	124
137	DRESS	TER/CT3	CTB	WVC-3	CT1/WVC-3	CT1/WVC-3	--	PGB	9'-9"	1,2,5,8	137
144	SHWR.	CT2	CTB	CT1	CT1	CT1	CT1	PGB	8'-4"	9	144
145	SHWR.	CT2	CTB	CT1	CT1	CT1	CT1	PGB	8'-4"	9	145
158	SHWR.	CT2	CTB	CT1	CT1	CT1	CT1	PGB	8'-4"	9	158
160	TLT.	CT3	CTB	WVC-3	WVC-3	WVC-3/CT-1	WVC-3	PEP	--	--	160

ADDENDUM DRAWING



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PHONE/FAX: 304-296-8216
TOLL FREE: 800-640-8216
EMAIL: alpha@alphoec.com
HTTP: www.alphoec.com

REV. BY: RJK	DWG. DESCRIPTION: ROOM FINISH SCHEDULE CLARIFICATION	DWG. NO: AD-002 2 OF 2
DWG. BY: RTL		PBI NO: --
DATE: 2/12/09		SHEET REF: A-6.1
PROJECT NAME: ALTERATIONS & UPGRADES TO THE BERKELEY SPRINGS BATH HOUSE		PROJECT NO: 0408097.02