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**THP Limited, Inc.** 100 E. Eighth St. Cincinnati, OH 45202 ph 513-241-3222 fx 241-2981 thpltd.com

August 25, 2006

Ms. Krista Ferrell  
Purchasing Division  
State of West Virginia  
2019 Washington Street, East  
P.O. Box 50130  
Charleston, WV 25305-0130

Subject: EOI Architectural/Engineering Services  
A/E Services for Capitol Campus Parking Garage  
RFQ# GSD076403

Dear Ms. Ferrell,

THP Limited is please to submit this Expression of Interest for the Capitol Campus Parking Garage. THP specializes in the design and restoration of parking garages and is adequately staffed and experienced to provide services for the project. Enclosed is the information requested in Part 4, 4.1b of the RFQ. Note that John Wellinger, from THP, attended the mandatory pre-bid meeting on August 16, 2006 as required.

Please contact me if you need additional information or if you wish to discuss THP's qualifications further.

Sincerely,

THP Limited, Inc.

A handwritten signature in black ink, appearing to read 'Christopher W. Przywara'. The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Christopher W. Przywara, P.E., Principal

**A F F I D A V I T****West Virginia Code §5A-3-10a states:**

No contract or renewal of any contract may be awarded by the state or any of its political subdivisions to any vendor or prospective vendor when the vendor or prospective vendor or a related party to the vendor or prospective vendor is a debtor and the debt owned is an amount greater than one thousand dollars in the aggregate.

**DEFINITIONS:**

"Debt" means any assessment, premium, penalty, fine, tax or other amount of money owed to the state or any of its political subdivisions because of a judgment, fine, permit violation, license assessment, defaulted workers' compensation premium, penalty or other assessment presently delinquent or due and required to be paid to the state or any of its political subdivisions, including any interest or additional penalties accrued thereon.

"Debtor" means any individual, corporation, partnership, association, limited liability company or any other form or business association owing a debt to the state or any of its political subdivisions.

"Political subdivision" means any county commission; municipality; county board of education; any instrumentality established by a county or municipality; any separate corporation or instrumentality established by one or more counties or municipalities, as permitted by law; or any public body charged by law with the performance of a government function or whose jurisdiction is coextensive with one or more counties or municipalities.

"Related party" means a party, whether an individual, corporation, partnership, association, limited liability company or any other form or business association or other entity whatsoever, related to any vendor by blood, marriage, ownership or contract through which the party has a relationship of ownership or other interest with the vendor so that the party will actually or by effect receive or control a portion of the benefit, profit or other consideration from performance of a vendor contract with the party receiving an amount that meets or exceeds five percent of the total contract amount.

**EXCEPTION:**

The prohibition of this section does not apply where a vendor has contested any tax administered pursuant to chapter eleven of this code, workers' compensation premium, permit fee or environmental fee or assessment and the matter has not become final or where the vendor has entered into a payment plan or agreement and the vendor is not in default of any of the provisions of such plan or agreement.

**LICENSING:**

The vendor must be licensed in accordance with any and all state requirements to do business with the state of West Virginia.

**CONFIDENTIALITY:**

The vendor agrees that he or she will not disclose to anyone, directly or indirectly, any such personally identifiable information or other confidential information gained from the agency, unless the individual who is the subject of the information consents to the disclosure in writing or the disclosure is made pursuant to the agency's policies, procedures and rules. Vendors should visit [www.state.wv.us/admin/purchase/privacy](http://www.state.wv.us/admin/purchase/privacy) for the Notice of Agency Confidentiality Policies.

Under penalty of law for false swearing (West Virginia Code, §61-5-3), it is hereby certified that the vendor acknowledges the information in this said affidavit and are in compliance with the requirements as stated.

Vendor's Name: THP LIMITED, INC.

Authorized Signature:  Date: 8/25/06

No Debt Affidavit  
Revised 02/08/06

**Expression of Interest  
Architectural/Engineering Services  
Capitol Campus Parking Garage  
RFQ# GSD076403**

**THP Limited, Inc.  
August 25, 2006**

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THP Limited is an association of professional engineering and architectural consultants established in 1973. Our practice concentrates on the planning, design and rehabilitation of building and civil structures. The firm is based in Cincinnati, though structures designed by THP's fifty employees have been built throughout the United States and abroad. These projects, completed since the founding of our predecessor partnership in 1965, share a gross worth in excess of fifteen billion dollars.

### **THP Restoration Consulting History**

THP's parking structure restoration consulting history is as long or longer than all other consultants in the U.S. Our first parking structure efforts date from the mid-1970's, when this industry was in its infancy and few people were aware of the developing needs for parking structure restoration due to corrosive deterioration of floors.

Today, THP's restoration consulting represents between 25 to 33 percent of our firm's business. Our 13-person staff of restoration engineers, architects and technicians is concentrated in THP's single office in Cincinnati. We feel such a concentration of personnel under one roof leads to improved quality and consistency in all facets of restoration consulting. All efforts are closely monitored, or personally performed, by THP principals with over 50 combined years in restoration consulting efforts.

THP restoration projects range from brief reviews and condition appraisals to the engineering and management of complete restoration and reconstruction programs. Our restoration experience includes parking facilities, stadiums, bridges, plazas, dams, industrial and power generating facilities, and tunnels; in total over 20 million square feet of distressed surface area.

### **THP restoration services include:**

- Assessments and condition studies
- Preparation of master planning and budgeting reports
- Preparation of bid documents with comprehensive phasing plans
- Consultation on Cathodic Protection systems
- Waterproofing system consultation
- Observation and administration of construction
- Testing of materials and systems
- Cost analysis and control

## Harvard University

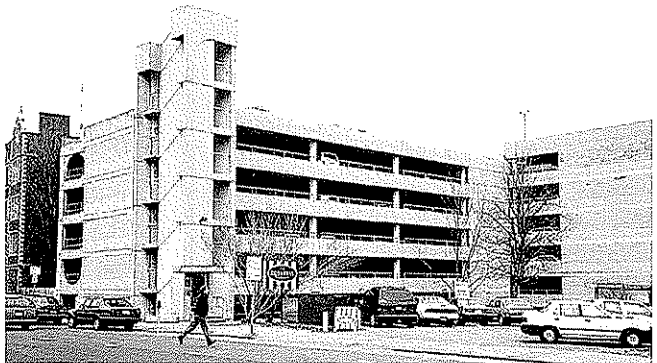
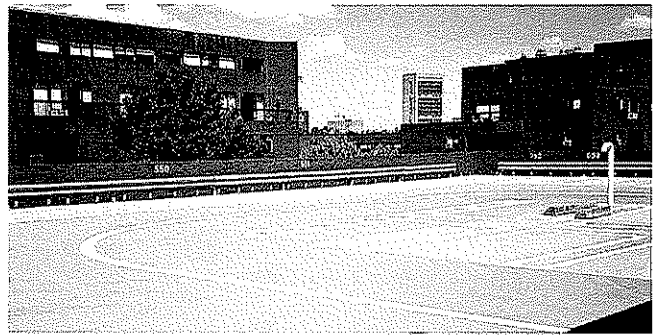
Cambridge, Massachusetts

Harvard retained THP in 1999 to assess conditions and develop a phased multiple year restoration master plan for its four major parking garages. THP coordinated emergency repairs in 1999, major restoration projects in 2001 and 2002, and a major two-year project in 2003 and 2004. Since then THP continues to provide consulting services for follow-up efforts and warranty enforcement, and durability consulting for new structured parking projects.

- Soldiers Field Garage, 800 spaces
- Broadway Garage, 450 spaces
- Everett Street Garage, 430 spaces
- Peabody Terrace Garage, 330 spaces
- Garden Street Garage, 50 spaces

### Reference:

John Nolan  
Director of Parking & Transportation  
(617) 496-6065



## Simon Properties Group

### Various Locations Nationwide

Assessments, restoration master planning and rehabilitation of 70 parking facilities nationally.

#### Locations:

- Rockingham Park, Salem, NH
- Atrium Mall, Chestnut Hill, MA
- Emerald Square, North Attleboro, MA
- Roosevelt Field Mall, Garden City, NY
- Nanuet Mall, Nanuet, NY
- Bergen Mall, Paramus, NJ
- Newport Centre Mall, Jersey City, NJ
- Menlo Park Mall, Edison, NJ
- Golden Ring Mall, Baltimore, MD
- Pentagon City, Arlington, VA
- Haywood Mall, Greenville, SC
- Lennox Square, Atlanta, GA
- The Avenues Mall, Jacksonville, FL
- Dadeland Mall, Miami, FL
- Century III Mall, Pittsburgh, PA
- Claypool, Indianapolis, IN
- Circle Centre Mall, Indianapolis, IN
- Ross Park Mall, Pittsburgh, PA
- Galleria Mall, Houston, TX
- Crossroads Mall, Omaha, NE
- Mall of America, Minneapolis, MN
- Auburn Mall, Wooster, MA
- Solomon Pond Mall, Wooster, MA
- Brea Mall, Brea, CA
- Fashion Valley Mall, San Diego, CA
- Santa Rosa Mall, Santa Rosa, CA
- The Shops at Sunset Place, Miami, FL
- Keystone Mall, Indianapolis, IN
- Pheasant Lane Mall, Nashua, NH
- Trolley Square, Salt Lake City, UT
- Square One Mall, Saugus, MA
- Chestnut Hill Mall, Newton, MA
- Copley Place, Boston, MA
- The Source, Garden City, NY
- Westchester Mall, White Plains, NY
- Penn Square Mall, Oklahoma City, OK
- University Mall, Little Rock, AR



*Century III Mall, PA*



*Mall of America, MN*



*Ross Park Mall, PA*

#### References:

Matt Mariutto  
Director  
(317) 263-2484

Don Gandolf  
Director  
(317) 263-7198

## The Taubman Company

Bloomfield Hills, Michigan

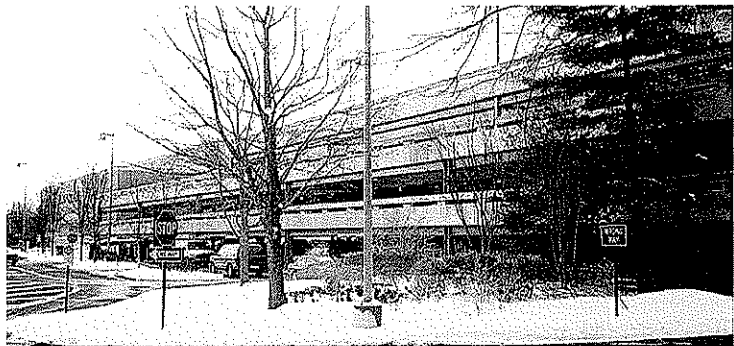
Assessments, master planning and restoration of over 25 parking facilities nationally.

### Properties:

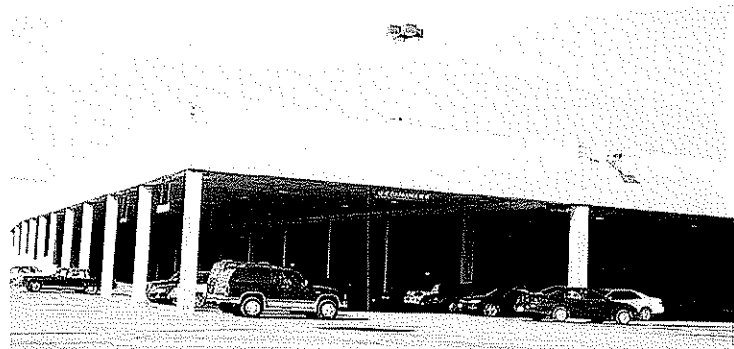
- Beverly Center, Beverly Hills, CA
- Cherry Creek Mall, Denver, CO
- Fair Oaks Mall, Fairfax, VA
- The Falls, Miami, FL
- International Plaza, Tampa, FL
- MacArthur Center, Norfolk, VA
- Regency Square, Richmond, VA
- Short Hills Mall, NJ
- Sunvalley Mall, Concord, CA
- West Farms Mall, Hartford, CT
- Willow Bend Mall, Plano, TX
- Woodfield Mall, Schaumburg, IL



*The Falls*



*Short Hills*



*Regency Square*

# Parking Restoration and Planning

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## Mall of America

Minneapolis, Minnesota

### On-going restoration efforts:

THP prepared a condition evaluation report and Master Plan for restoration efforts in October, 2001. The report evaluated the East, West, Southeast and South Parking Deck areas. The East, Southeast and West parking decks are formed by precast, prestressed double tees which are supported by precast beams and columns. The East and West decks are essentially mirror images for the upper six supported levels. The East deck has an additional supported level at grade over the below grade transient center. THP has prepared construction documents and administered the restoration projects in the existing garages following the Master Plan. Restoration design work began late in 2001 with the first restoration project in 2002. THP has administered projects each year and is currently commencing the 2006 restoration work.

### Reference:

Tom Rabiola  
Facilities Manager  
Mall of America  
(952) 883-8898



### Existing Garage Study:

THP prepared a Parking Expansion Study of the existing decks in November, 2005 for the Mall of America, Phase II development. The study reviewed both vertical and horizontal expansion of the East and West parking structures. The study provided several options for additional parking to aid the overall parking count required for the Phase II development. The background and need for additional parking was presented to THP by Mr. Greg Hollenkamp, KKE Architects. Additional information during the study was provided by Mr. Kurt Hagen, Phase II development manager. Subsequent to the issuing of the study, additional analysis and study was performed for vertical expansion of the garages based on increased soil capacities.

### Reference:

Mr. Greg Hollenkamp  
KKE Architects  
(612) 339-4200



# Parking Planning, Design and Restoration



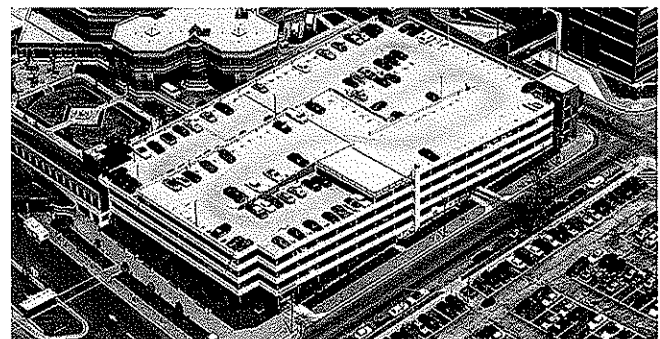
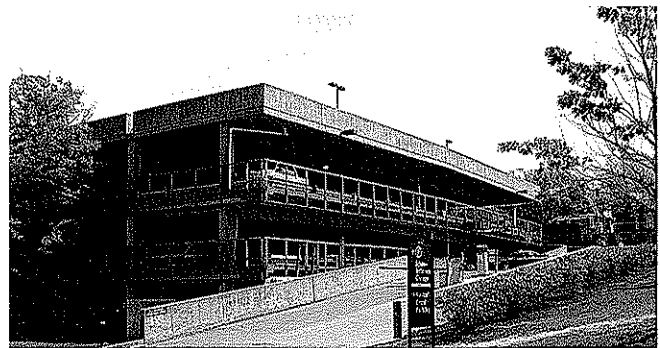
## University of Cincinnati Cincinnati, Ohio

For the past 25 years the University of Cincinnati Department of Parking Services has been a significant repeat client for THP. Long-term consulting for nine-facility system. THP as prime planning and restoration design firm:

- Assessments and annual maintenance reviews of all facilities over the last 25 years.
- Design of several separate major restoration and waterproofing projects, including structural and floor repairs
- Development of phased efforts in all projects to limit parking disruptions substantially to non-peak hours
- Numerous projects and contracts over several years, all falling close to or less than THP estimates
- Construction administration for all projects

### University Garages:

- Scioto Jefferson, 1,100 spaces
- Central Library, 850 spaces
- Brodie 450 spaces
- Corry, 600 spaces
- CBA, 400 spaces
- Eden Avenue, 900 spaces
- Goodman, 900 spaces
- CCM, 400 spaces
- Kingsgate, 500 spaces



**Reference:**  
Ray Renner  
Director of Construction  
Management  
(513) 556-3155

## Ball State University

Muncie, Indiana

THP initially assessed BSU's two existing garages in 1989, then developed documents and administered restoration projects in 1990 and 1992. In 1995, 1999 and 2003, THP returned to BSU to review conditions and recommend minor repair and maintenance efforts. In late 2004, BSU again retained THP to develop documents and administer bidding for priority continuing restoration efforts in 2005. In 2006, THP designed and administered further priority restoration efforts.

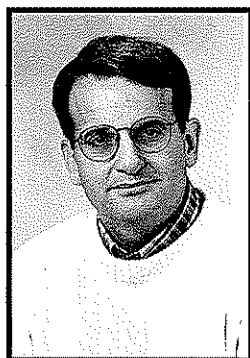
### Reference:

Jim Lowe  
Director, Facilities Project Management  
(765) 285-5082



# Christopher W. Przywara, P.E.

## Principal-in-Charge



Mr. Przywara is a specialist in the appraisal, repair development, and construction support of deteriorated concrete facilities. He has directed projects in parking facilities nationwide, including condition appraisals and restoration planning for nearly 400 facilities. He has developed documents and managed restoration projects in more than 200 concrete structures, including buildings, parking facilities, plazas, stadiums, steam tunnels, and industrial facilities.

### Education

- BARCH, Architecture, University of Notre Dame
- MSCE, Structural Engineering, Massachusetts Institute of Technology

### Registration

- P.E.; Indiana, Ohio, Michigan, Maryland, Kentucky, New Jersey, New York

### Professional History

1988 to Present THP Limited, Principal  
1985 to 1988 Walker Parking Consultants, Kalamazoo, Michigan  
1982 to 1985 Portland Cement Association, Skokie, Illinois  
1980 to 1982 Sargent & Lundy Engineers, Chicago, Illinois

### Publications

- "Clear Water Repellents for Horizontal Concrete Applications," *Clear Water Repellent Handbook*
- "Restoration and Waterproofing Campus Concrete Structures," *Critical Issues in Facilities Management*
- "Waterproofing Systems," *The Parking Professional*

### Presentations

- "Restoration and Waterproofing of Parking Facilities," IPI's Certified Administrator in Public Parking Program
- "Restoration of Hospital Parking Facilities," AHA Conference
- "Stadium Waterproofing," Stadium Managers Association Conference
- "Restoration and Waterproofing Campus Concrete Structures," APPA Conference

### Project Experience

**Simon Properties Group, Indianapolis**  
—Forty-nine parking facilities nationally.

**The Taubman Company, Michigan**  
—Fifteen parking facilities nationally

**Harvard University, Boston, MA**  
—Four parking facilities

**Barnes Hospital, St. Louis, MI**  
—Three parking facilities

**City of Louisville, KY**  
—Seven parking facilities

**National Institutes of Health, MD**  
—One, 1,600-car underground garage

**Georgetown Univ. Medical Center, D.C.**  
—Garage Restoration

**Massachusetts General Hospital, Garages Repairs**  
Boston, Massachusetts

**City of Louisville, Garages Phase II & IV**  
Restoration, Louisville, Kentucky

# William M. Judd, P.E.

## Project Manager

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Mr. Judd specializes in the assessment and restoration of deteriorated concrete structures, concentrating mostly on parking garages of all types. He has extensive experience inspecting the installation of concrete repairs and waterproofing systems. He has also designed, assessed and restored several utility tunnel structures.

### Education

- BSCE, Civil Engineering
- MSCE, Structural Engineering

### Registration

- P.E.; Ohio, Missouri, Texas

### Professional Organizations

- American Society of Civil Engineers
- American Institute of Steel Construction

### Professional History

- 1983 to Present THP Limited,  
Principal

### Project Experience:

#### Simon Properties Group, Indianapolis

- Twenty-seven parking facilities nationally
- Assessments and Restoration

#### The Taubman Company, Michigan

- Fifteen parking facilities nationally
- Assessments and Restoration

#### University of Cincinnati, Cincinnati, Ohio

- Annual inspections, maintenance reviews, and repair documentation of 10 University Parking Garages since 1994.
- Goodman Street Garage condition study and restoration
- Medical Sciences Garage condition study and restoration
- Scioto Dormitories, “Three Sisters,” assessment

#### Ball State University, Muncie, Indiana

- Garage Assessment & Restoration - 2005
- Stadium Assessment & Restoration

#### Ohio University, Athens, Ohio

- Elevated walkways and South Green Plaza restoration

#### Cinergy Field, Cincinnati, Ohio

- Parking garage and plaza restoration

#### Good Samaritan Hospital Dixmyth Parking Garage Restoration, Cincinnati, Ohio

- Field investigation of deteriorated concrete, delamination survey, and electrical potential measurements.

#### University of Cincinnati, Ohio

- Goodman Street garage restoration

#### St. Jude’s Children’s Hospital, Memphis, Tennessee

- Garage condition study

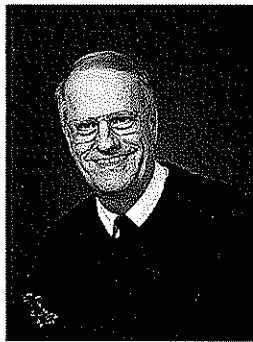
#### Dayton Convention Center, Ohio

- Restoration of garage and facade study

# E. James Millar, P.E., R.A.

## Parking Consultant

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Mr. Millar has extensive experience in the design of parking structures. His parking functional layouts house over 15,000 cars. He has special expertise in the coordination of architectural and engineering disciplines. His design experience with the architectural aspects related to parking facilities has given THP Limited the unique in-house capability for complete parking garage design services, uncommon by many structural engineering firms.

### Education

- BS, Architecture,  
University of Cincinnati
- MSCE, Civil Engineering,  
University of Cincinnati

### Registration

- R.A.; Ohio, Indiana, Kentucky,  
New Hampshire, West Virginia
- P.E.; Ohio, Kentucky, Michigan,  
Minnesota
- NCARB

### Professional Organizations

- American Institute of Architects
- Architects Society of Ohio

### Professional History

- 1976 to Present THP Limited,  
Principal
- 1971 to 1976 Tweddell, Wheeler,  
Strickland, Beumer
- 1969 to 1971 Lyles, Bisset, Carlyse  
and Wolf

### Project Experience

#### University of Kentucky - Patient Tower & Garage Lexington, Kentucky

- \$450 million Patient Tower, 1,000,000 SF
- Parking Garage, 1,129-spaces

#### Children's Hospital Medical Center, Ohio

- Planning, prime design and parking consultant
- 7,000-spaces

#### University Hospital, Cincinnati, Ohio

- New Parking Garage and Loading Dock
- 1,300-spaces, planning and prime design

#### Vine & Central Development Parking Garage

Cincinnati, Ohio  
- 1,000-spaces

#### University of Cincinnati, Ohio

- Calhoun Street Parking Garage
- 1,400-spaces, planning and prime design
- College Conservatory of Music
- Expansion and Renovation & Parking Garage
- 450-spaces, 720,000 SF, \$108 million

#### Cincinnati Financial Corporation

Fairfield, Ohio  
- 1,800-spaces, planning and functional layout

#### Riverfront Parking Garage, Lawrenceburg, Indiana

- 850-spaces

#### Northern Kentucky University - Parking Garage

Highland Heights, Kentucky  
- 680-spaces

#### Delta Airlines Call Center & Parking Garage

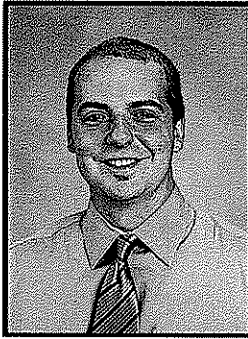
Cincinnati, Ohio  
- 600-spaces, design/build

#### Miami University, Hockey Arena Parking Garage

Oxford, Ohio  
- 600-spaces

#### Broadway Lofts Parking Garage, Cincinnati, Ohio

- 500-spaces, planning and prime design



Mr. Hauke has project management, restoration and structural design experience on a variety of steel and concrete structures for institutional, commercial and private projects. Over the last three years his focus has been in parking facility restoration projects. He has engineered and managed projects designed by internationally known Signature Architects. He has construction support experience on numerous projects including observation, inspection, and project administration.

## Education

- BSCE, Civil & Structural Engineering, Vanderbilt University
- MSCE, Structural Engineering, University of Cincinnati

## Registration

- P.E.; Ohio

## Professional History

- 1999 to Present THP Limited

## Project Experience

### Simon Properties Group

Indianapolis, Indiana

- Ten parking garage facilities nationally
- Assessments and Restoration
- Construction Administration

### The Taubman Company, Michigan

- Five parking garage facilities nationally
- Assessments and Restoration
- Construction Administration

### Cincinnati/Northern Kentucky

#### International Airport

Kenton County, Kentucky

- Terminal 1 and 2 Parking Garage Condition Assessment, 2,000-spaces

### Federated Garage

Cincinnati, Ohio

- Condition Assessment
- Post-tensioning Review

### Harvard Square Garage

Cambridge, Massachusetts

- Condition Assessment
- Construction Administration

### Harvard University

Cambridge, Massachusetts

- Everett Street Garage Demolition Consulting

### 6th & Madison Garage

Covington, Kentucky

- Condition Assessment

### Lenox Square Garage, Atlanta, Georgia

- Condition Assessment



Mr. Monastra has 20 years of structural design and project management experience on major commercial, institutional and parking garage projects. He applies his in-depth knowledge of concrete materials and durability elements to his parking garage design. This knowledge stems from his experience in the assessment, design and restoration of deteriorated garages across the country.

## Education

- BSCE, Civil Engineering, University of Cincinnati, Summa Cum Laude
- MSCE, Civil Engineering, University of Illinois

## Registration

- P.E.; Ohio, Iowa

## Professional Organizations

- American Society of Civil Engineers

## Professional History

- 1997 to Present THP Limited
- 1995 to 1997 Shive-Hattery, Inc.
- 1992 to 1995 The Procter & Gamble Company
- 1986 to 1989 Hammontree & Associates

## Project Experience

### Simon Property Group

Various National Locations

- Assessment and Restoration of over 20 mall garage properties

### The Taubman Company, Michigan

- Assessment and Restoration 15 parking facilities nationally

### Newport on the Levee

Newport, Kentucky

- 2,200-space parking garage
- 500,000 SF retail
- AMC 20 Screen Theatre
- Oceanic Adventures Aquarium

### Children's Hospital Medical Center, Visitor Parking Garage, Cincinnati, Ohio

- \$6 million, 130,000 SF, 950-spaces

### Madison Place Tower

Covington, Kentucky

- \$40 million, 16-story, 400,000 SF

### Reynolds & Reynolds World Headquarters

Dayton, Ohio

- Phase II, \$43.8 million, 376,000 SF

### University of Cincinnati, Ohio

- University Pavilion, 97,000 SF, \$32 million
- College Conservatory of Music Expansion, \$108 million
- Baldwin Hall Renovation, \$10 million
- Tangeman University Center, 120,000 SF, \$56 million

# Project Understanding/ Approach/Plan



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Pretopped, precast double-tee parking structures are inherently less costly and faster to design and construct, and as a result are often chosen by developers and owners for fast-track or design-build parking projects. Unfortunately, low first cost projects typically do not result in the least long term costs when repair and maintenance needs are considered. Often savings in new parking facility costs realized in the use of pretopped, precast double-tee construction over cast-in-place post-tensioned concrete construction are exceeded by increased repair and maintenance costs within the first 10-to-15 years of use.

THP's experience from years of restoration consulting for major national mall owners has exposed our staff to pretopped, precast parking facilities across the U.S. Mall parking facilities are typically fast-track, low cost construction, included in Mall developments to maintain code required parking counts, and they almost always exhibit flaws contributing to long-term restoration needs.

Typical problems THP has seen in pretopped, precast double tee parking facilities are as follows:

- Structurally inadequate tee-to-tee connections, made with brittle weld and embedment materials which are susceptible to fatigue and cold weather induced failures.
- Deterioration of connections made with grey steel in corrosive environments, instead of stainless steel, galvanized steel or epoxy coated materials.
- Miles of poorly designed and implemented tee-to-tee joints, installed by the least expensive waterproofing subcontractors, typically without the built-in costs to provide adequate quality control, or the incentive to pay attention to critical details.
- Alignment problems creating shorter-than-designed tee stem bearing conditions and/or dissimilar surfaces at tee-to-tee joints.
- Tee-to-tee connection failures and tee flange cracking from heavier than code required and anticipated concentrated wheel loads of SUV's and pick-up trucks.
- Poorly implemented, debonded and shrinkage cracked cast-in-place topping slabs over support beams and along perimeter walls.

The first pre-topped, precast double-tee parking structures were constructed in the 1970's, although this type of construction did not become widespread until the mid-to-late 1980's. THP first restored a pre-topped precast double tee garage in 1990, and since the mid-to-late 1990's THP has restored over 60 such structures throughout the U.S., including two of the largest pre-topped parking facilities ever constructed at the Mall of America in Minnesota.



# Project Understanding/ Approach/Plan

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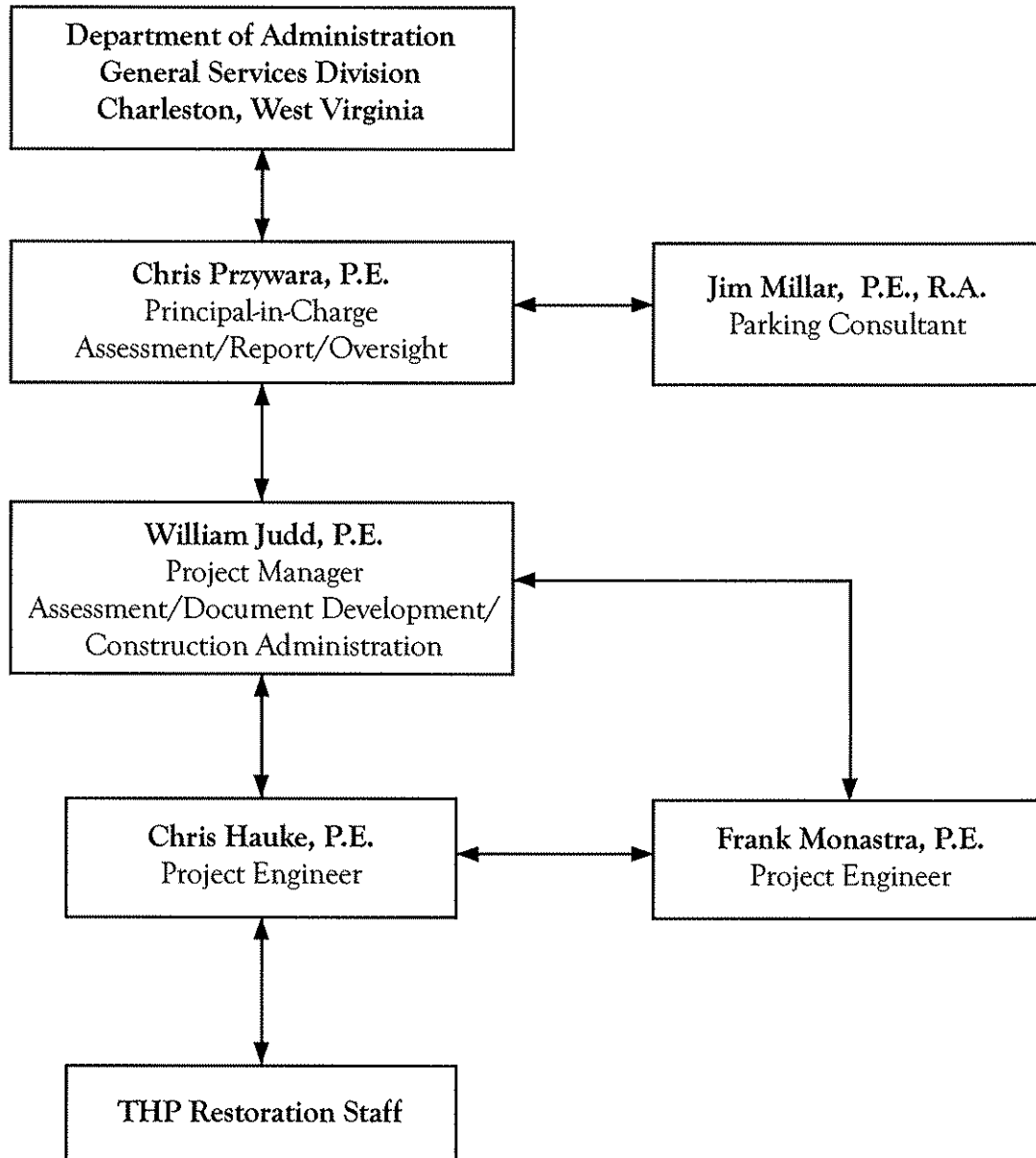


Based on THP's walk through review of the Capitol Complex Garage prior to and during the pre-bid conference, we noted many of the same types of problems we have seen in our other pretopped, precast tee garage restoration projects. If selected, THP will be able to apply its extensive experience to quickly and efficiently survey and assess the facility. We expect to utilize personnel who are regularly involved in restoration of these types of facilities. If determined necessary, THP will utilize its regular laboratory consultants to evaluate weld and embedment integrity at a couple excavated connections, chloride contents of concrete powder samples, and/or concrete permeability of core samples. Similarly, THP will sample and evaluate sealants from exposed and interior levels to determine residual material qualities, and establish repair and replacement time-lines.

THP typically develops prioritized 5-to-10 year repair and maintenance master plans for parking structure owners. Where multiple options for significant restoration efforts are feasible, THP will present and discuss the benefits and costs of one option versus another, and recommend the most prudent option based on technical considerations and our owner's input regarding annual budget limitations. We expect to do the same for the State of West Virginia.

Finally, THP was recently selected to be the State's consultant to restore the Capitol Street Garage in Charleston. Our efforts should be well under way when the selection for the Capitol Complex Garage is made.

If THP is selected as the State's consultant for this project, we should be able to be on-site for our initial survey efforts within two weeks of a Notice of Award or purchase order assignment. We would immediately advise the State of any apparent safety or serviceability related problems, especially those that could worsen during winter weather, and we would assist either State maintenance personnel or contingency contractors with detailing and coordination of any emergency repair efforts. Our condition assessment report should be deliverable to the State within four-to-six weeks of the survey. After decisions by the State on 2007 repair budgets, THP could develop construction documents for the 2007 efforts within four-to-six weeks. The subsequent schedule for the bidding, award and implementation of the 2007 project will be dictated by the State's procurement process.



# Restoration Projects ~ National References

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Over the years, repeat business and referrals have accounted for a vast majority of THP's restoration projects, both in the Cincinnati area and throughout the U.S. A partial list of industry-active references regarding THP's national restoration consulting services follows.

**John Nolan** - Director of Parking and Transportation  
Harvard University  
(617) 496-6065

**Terry Evans** - Director of Ball Park Operations  
Hamilton County  
(513) 946-4343

**Don Gandolf** or **Matt Mariutto** - Directors, Technical Services  
Simon Property Group  
(317) 263-7198 or (317) 263-2484, respectively

**Ray Renner** - Director of Construction Management  
University of Cincinnati  
(513) 556-3155

**Joe D'Angelo** - Director, Facilities Project Management  
The Taubman Company  
(248) 258-7391

**Jack Romaine** - Facilities Director  
Short Hills Mall, New Jersey  
(973) 376-7359

**Jim Lowe** - Director, Facilities Planning and Management  
Ball State University  
(765) 285-5082