

# A/E Services for West Virginia Army National Guard

03/29/22 12:59:38  
West Virginia Purchasing Division



## **FWAATS RESTROOM RENOVATIONS**

**CEOI 0603 ADJ2200000011**

MARCH 30, 2022



EST. 1988

# OUR MISSION

*Our purpose is to enrich  
our communities through  
service to our clients.*

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Department of Administration, Purchasing Division  
David Pauline, Senior Buyer  
2019 Washington Street, East  
Charleston, WV 25305-0130



Mr. Pauline,

Pickering Associates is pleased to submit this proposal for providing Architectural/Engineering services for the FWAATS Restroom Renovation Design project. Our firm is capable of providing full A/E services in-house to complete the scope of your project and has had the opportunity to provide similar professional services to many clients throughout our history. We feel confident our design team is uniquely qualified to assist you with this project.

Pickering Associates is a premier all-inclusive A/E Firm located in West Virginia and Ohio and headquartered in Parkersburg, W.Va. With our Fairmont office located less than 30 minutes from Bridgeport, we are able to quickly address concerns and issues that may arise during design and construction. The following proposal outlines our technical expertise, management, staff capabilities and experience for providing high-quality engineering and architectural services for your project.

As a firm, Pickering Associates has performed design services for several renovation projects, from single restroom renovations to multi-story buildings. There are some common issues that come with renovating a building, the presence of mold being one. We have experience in designing for mold and mildew abatement, understand and correcting the issues causing the mold, and providing complete interior renovations for various types of spaces. We recently completed a restroom renovation and mold abatement at the Rappel Tower Support Facilities at Camp Dawson.

Planned renovations of the FWAATS Facility, include abating mildew and mold covered wall board and material from the shower/restroom areas and replace, providing design for complete shower/restroom renovations and new interior lighting for these areas. As a WV State Fire Marshal's Office certified Building Code Plans Examiner, I will ensure the renovated areas meet all current building codes and ADA compliance. We will work with the WVANG Construction and Facilities Management office to make certain the current military force protection regulations are met. Our entire team of professionals is very familiar with fire, building and ADA codes and can ensure your project will be designed to comply with all current codes and regulations.

Our approach to your project will demonstrate our procedure for communication, our strict adherence to schedules and budget, and our reputation for excellent quality service that results in accurate construction documents. Our team has extensive experience with renovation projects, and we are aware of the challenges, concerns and issues that will need to be addressed throughout design and construction. We believe that our previous experience, qualified design team, and familiarity with and close proximity to Bridgeport sets us apart, making our full-service firm an excellent choice for your project.

We look forward to personally discussing our qualifications to complete this project on time, within budget and exceeding the standards of any firm you may have worked with previously.

Respectfully submitted,

Pamela Wean, AIA  
Architect, Project Manager and Branch Manager  
Pickering Associates



# ABOUT THE COMPANY

*Founded in 1988, Pickering Associates has been providing architectural, engineering and surveying services throughout West Virginia and Ohio for over thirty years.*

Our company is the product of three generations and more than 75 years of construction experience. This experience plus state-of-the-art engineering practices create a full-service, multi-discipline, architectural, engineering and surveying firm serving a wide range of needs and featuring innovative, customized solutions. Our highly qualified staff includes licensed professional engineers, professional surveyors, licensed architects, designers, and drafters as well as support personnel.

The disciplines we cover include architecture, surveying, project management, civil engineering, structural engineering, mechanical engineering, electrical engineering, process engineering, automation and control, and construction administration. Pickering Associates specializes in the above listed disciplines with education, government, healthcare, industrial, oil & gas and private sector clients.



**"WE ARE  
COMMITTED TO THE  
PROFESSIONAL  
DEVELOPMENT AND  
TECHNICAL  
ADVANCEMENT OF  
OUR EMPLOYEES."**

# ABOUT THE PEOPLE

In choosing Pickering Associates, your project will be performed to your specifications with frequent meetings and status reports to keep you up-to-date on the status of the project. Our sole focus is your full satisfaction with the completed quality installation.

Successfully executing more than 10,000 projects in its history, the firm has built a tremendous wealth of experience gaining insight into what works for each client type. Those lessons learned add substance to our work and provide our clients with unparalleled value.

Our objective is to partner with our clients improving their performance, flexibility, life-cycle cost, sustainability and ultimately well-being.

## LEADERSHIP

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### **V.P. of Marketing & Development**

Traci Stotts, AIA, NCARB  
Architect

### **C.E.O. & President**

Ryan Taylor  
Sr. Project Manager

### **Executive V.P. of Design**

David Boggs, P.E., CPD  
Sr. Mechanical Engineer

### **V.P. of Construction**

Mark Welch, P.E.  
Sr. Project Manager

## DEPARTMENT LEADS

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### **Civil Engineering**

Spencer Kimble, P.E.

### **Electrical Engineering**

Carl Henson, P.E.

### **Mechanical Engineering**

Jeff Hosek, P.E. LEED AP (BD+C)

### **Piping Engineering**

Patrick Flora, E.I.

### **Structural Engineering**

Eric Smith, P.E.

### **Architecture**

Traci Stotts, AIA, NCARB

### **Building Information Modeling**

Chris Algin, AIA, NCARB

### **Construction Administration**

Sean Simon, AIA, NCARB

### **Surveying**

Bill Showalter, P.S.

## BRANCH MANAGERS

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### **Athens**

John Bentz, P.E.

### **Charleston**

Sean Simon, AIA, NCARB

### **Fairmont**

Pamela Wean, AIA

# PROJECT APPROACH

It is our understanding the scope of the project requested by the WVANG consists of, but may not be limited to the following: abating mildew and mold covered wall board and material from shower/restroom areas and replace, providing a design for complete shower/restroom renovations, and new interior lighting for these areas.

## **Goal/Objective 1:**

*Provide a complete design including all engineering and architectural disciplines and supervision thereof, to prepare construction bid documents for West Virginia State Purchasing. Key design elements include, abate mildew and mold covered wall board and material from the shower/restroom areas and provide designs for complete shower/restroom renovations, and new interior lighting for these areas.*

Pickering Associates endeavors to produce an accurate and well-coordinated set of construction documents for every project that we work on. We are very familiar with West Virginia State Purchasing procedures and guidelines. Pickering has worked in the past and is currently working on several projects with the State of WV and WVANG.

At Pickering Associates, we understand the importance of keeping the Client informed and engaged throughout the entire design and construction process. It is crucial to the project to get the Client involved early in the process along with other key stakeholders, in order to understand the needs of the facility. Our plan would be to engage the key stakeholders in regular design meetings to ensure expectations and schedules constraints are met. We feel that time spent with your staff to better understand the project, will allow us to be more efficient in completing the schematic design phase for this project and progress us to the next phase quicker than our competitors, therefore allowing us to meet your anticipated design schedule.

Our design process will begin with thorough investigation of the existing conditions of the facilities. This would include examining, and testing if necessary, for the presence of mold and mildew. The results of the examination will be incorporated into a schematic

design, including a plan of action for mold remediation and correction of the issues causing the mold/mildew.

We always involve the authorities-having-jurisdiction during the schematic design to make certain that we address any and all concerns that they may have, thus reducing costly changes during design and/or construction. We have a close working relationship with agencies such as the West Virginia State Fire Marshal's Office and are familiar with the local and state requirements that need addressed for a wide range of projects.

At the end of the schematic design phase (35%) Pickering will present rough sketches to the owner for approval. These sketches will provide the owner with the opportunity to verify that we have correctly interpreted your desired functional relationships between various activities and spaces. Once schematic design is complete and approved, we will move into the design development phase for the project.

The design development phase (65%) is a transitional phase where the design team moves into developing the contract documents. In this phase, the architects and engineers prepare drawings and other presentation documents to crystallize the design concept and describe it in terms of architectural, electrical, mechanical, and structural systems. At the end of the design development phase, the architect will provide the client with drafted to-scale drawings that will illustrate the project as it would look when it's constructed. These drawings will specifically define the site plan, floor plans and any interior elevations. It is important that the client provide input to the architect at this time as the design development drawings are used as the basis for the construction drawings and used to further develop and refine the estimate of probable construction costs for the project.

Once the Owner has approved the design development phase, the Architect prepares detailed working drawings, thus progressing into the construction document phase (95%) of the project. During this time, final drawings and specifications are produced for the project. These documents will be used for bidding the project to contractors. These drawings and specifications become part of the construction contract. The construction documents will include all necessary information to ensure that the project will

## PROJECT APPROACH CONTINUED...

be constructed as conceived by the Owner and design team.

### **Goal/Objective 2:**

*Designer shall be responsible for researching and investigating the location of existing underground and above ground utilities, and to provide drawings and specifications of any and all utility changes, as needed and directed by the owner and/or utility approval authorities for Bridgeport, West Virginia.*

Pickering Associates' survey team and civil engineering departments have an enormous history of utility location and relocation. Spencer Kimble, P.E. will lead this aspect of the project. He coordinates and manages a team that provides site planning and development to industrial, commercial and institutional clients. He has a wealth of experience with site utility layout design and permit assistance. He will coordinate with the WVANG and the appropriate local authorities as required for your project.

### **Goal/Objective 3:**

*Drawings and specifications at 35%, 65%, 95% and 100%, cost estimates are to be revised and submitted with each submittal at 35%, 65%, 95% and 100%.*

In order to provide estimates for probable construction costs with accuracy, Pickering subscribes to and utilizes RS Means CostWorks On-Line. This tool provides comprehensive, localized, and up-to-date construction costs to help us create reliable estimates for our projects.

We know the importance of not only understanding our client's budget, but also ensuring that the project is designed to fit into (and stay within) that budget. We utilize cost control methods to make sure that the overall project budget does not increase without the client's knowledge or prior approval. We will provide an updated estimate of probable construction costs for 35%, 65%, 95% and 100% phases of design, thus monitoring and providing control for the project budget. Drawings and specifications will be submitted along with the cost estimates at the 35%, 65%, 95% and 100% milestones. If scope items are added to the project during the design phase we make certain

that the client understands the implications and costs associated with each change or addition - prior to officially adding it to the project.

### **Goal/Objective 4:**

*Provide construction bid services to the Owner.*

Pickering Associates can handle the bidding & negotiation phase of the project with our experienced in-house construction administration team. We have systems in place, and are equipped to electronically distribute the bidding documents to contractors and equipment suppliers interested in bidding the project, as well as produce hard copies as required. Pickering has experience in working with the Purchasing Department for the State of WV for the solicitation of bids. We will assist in contacting contractors to get interest in bidding the project, answer requests for information during the bidding process, assemble addendums, schedule, coordinate and lead a pre-bid meeting, and assist the owner with bid opening and contractor evaluation.

During construction administration Pickering Associates can also act as the agent of the owner, if required, overseeing construction to ensure conformity to construction drawings, specifications, and standards. Pickering will assist the owner in awarding the contract, lead and coordinate weekly construction meetings, produce meeting agendas and meeting minutes, answer RFI's from contractors, review submittals, process change orders and pay applications, perform regular site visits, complete a punch list at the end of the project, and keep the owner informed throughout the entire process. This closely monitored process helps to ensure that the final project represents the intended design as indicated in the construction documents.

We are confident that with our extensive Renovation and Government experience, we can deliver a successful project that both WVANG and FWAATS Flight Facility in Bridgeport can be proud of. We believe our experience, along with our ability to listen and understand the needs of our clients, makes Pickering Associates an excellent choice for your design partner. We look forward to working with the WVANG team for the FWAATS Flight Facility Restroom Renovations Design.

## YOUR PROJECT

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### Project Owner

West Virginia Army National Guard  
Constructions and Facilities  
Management

## LEADERSHIP

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### Design Lead

Jeff Hosek, P.E. LEED AP  
Mechanical Engineer

Jeff has been contributing mechanical engineering expertise and project management for more than ten years and has been a major contributor to a number of LEED projects. He has served as the engineer of record for the mechanical design and project manager for a variety of projects, including being Project Manager on 2 West Virginia Army National Guard projects.

### Project Manager

Pamela J. Wean, AIA  
Project Manager

Pam has extensive experience working on a variety of projects including renovations, commercial expansions and civic projects. As a long-time resident and the manager of the Fairmont office, Pam provides over 35 years' experience in architectural services and project management expertise.

### Design Lead

Electrical Engineer  
Carl Henson, P.E.

Carl coordinates and manages a team that provides electrical engineering services to industrial, commercial and institutional clients. He has a wealth of experience electrical and lighting design renovations and upgrades.

## DESIGN TEAM

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### Civil Engineering

Spencer Kimble, P.E.

### Structural Engineering

Eric Smith, P.E.

### Plumbing Engineering

David Boggs, P.E.

### Construction Administration

Sean Simon, AIA, NCARB

### Surveying

Bill Showalter, PS



# WHAT FULL SERVICE MEANS

## PUBLIC BUILDINGS

For owners and designers, public buildings present a unique set of challenges and opportunities in an effort to maintain, renovate and expand services provided within the facility as well as service a wide range of individuals all with different needs and abilities. While some projects allow a design team to start from the ground up, many building projects involve the adaptive reuse of an existing facility or an addition in order to facilitate the owner's continued demand for growth. It is also important for owners to find a team with the depth of experience in dealing within the restrictions of limited budgets, governing regulations, multiple phase oversight and approving agencies.

Public buildings also present a unique design for the team selected for a project by the fact that potentially every component of the design will be subjected to an expanded range of users that are normally not present during the design phase. Pickering throughout the years has been able to engage with many organizations to provide design and consultant services on multiple projects including dormitory upgrades and renovations, office facilities, lodges, and conference centers.

Our depth of experience and staffing provides owners with the knowledge and resources to execute their projects effectively. We understand and execute projects to create facilities which meet ADA compliance, greater occupancy safety through knowledgeable design practices and the use of technology, while providing our clients with scheduled phase-gate review points for proper oversight and approval, concise project management to maintain budget and schedule oversight and assistance throughout the review and approval process with governing agencies. Our

expertise includes several different methods of project delivery including D-B, D-B-B and CMR.

## OUR PLEDGE

With the selection of Pickering Associates, your organization gains the full depth of our organization. Projects are scheduled out through all phases of delivery by our resource manager and the project manager, assigning the necessary resources to perform to the schedule necessary for that project and highlight major milestones that need to be met. With more than 50 professionals on staff, you can be confident that Pickering Associates has the resources to meet your project schedule.

Because we are a full-service firm, we are able to provide a better coordinated project than firms who are required to use outside consultants. We organize regular in-house project team coordination meetings throughout the design phases of a project to discuss and resolve any issues or concerns that may arise during design.

We feel that this face-to-face coordination with our design team is more effective and efficient than coordinating via email or over the phone like many firms using consultants are required to do.



## **OFFICE LOCATION:** FAIRMONT

320 Adams Street, Suite 102  
Fairmont, WV 26554

## **CONTACT INFORMATION:**

Pam Wean, AIA  
Architect/Project Manager  
(P) (304) 363-1004 EXT: 5001  
(E) pwean@pickeringusa.com

## **SERVICES:**

Architecture  
Interior Design  
3D Model Design  
Landscape Architecture  
Civil Engineering  
Structural Engineering  
Electrical Engineering  
Automations & Controls  
Mechanical Engineering  
Piping Engineering  
Process Engineering  
Surveying  
Marketing Development  
Construction Services  
Project Management

Our close coordination efforts have proven valuable in many cases where the design schedule is accelerated and/or where there is equipment in the project that requires the effort and coordination of several disciplines.

Pickering's commitment goes beyond the final design stage. Our team continues to work with you during project bidding, construction and final walk-through.

We hold pre-bid meetings, answer all the bidder's questions and help evaluate each bid received so you can select the contractors best suited for your project. Our architects and engineers answers questions during construction to eliminate delays due to uncertainty. We inspect construction workmanship to make sure you receive the highest quality installation and to ensure that all work conforms to the bid documents. We tour the site with you to compile a punch list of outstanding tasks that need attention before the contractor leaves the site and work with the contractors to ensure all of the punch list items are resolved. Finally, we incorporate all changes to the drawings resulting from construction to create as-builts, so you have an accurate depiction of the project for your records.

By working with Pickering Associates you will see that teamwork is the spirit and foundation of our organization. We acknowledge the importance of a quick turn-around and excellent quality services which our administrative procedures, overall organization and depth of experience are poised to provide you. As reflected in our resumes and company experience, we are uniquely qualified to offer the professional services required and to ensure that your vision becomes a reality.

Rated as one of the  
**TOP**  
Engineering Firms in  
West Virginia.

- The State Journal





# WHAT'S THE BIM IDEA?

Pickering Associates "IDEA" is our Integrated Design Execution Approach.

**Integrated** - we want our clients, contractors and end users engaged in the process of design. When the right people are involved, accessing the best information, good decisions are made.

**Design Execution**- refers to how we develop and optimize your project. We focus on the questions that have the most impact. We assign the right staff with the right tools

**Our Approach**- recognizes that projects are constantly changing and evolving as the project progresses. We tailor a plan for the project objective, maintain and monitor it so it remains optimized to achieve project goals, faster.

Pickering Associates' Integrated Design Execution Approach - our "IDEA", is a big deal, and will help your project be successful.

Building Information Modeling is a process that aligns to all aspects of our "IDEA". It is integrated, allowing easy access to project information. The software we use help understand the proposed design, coordinate, and identify the critical problems that need answers. Most importantly, Building Information Modeling is a process that fits with our Approach. Allowing the project team to evolve seamlessly as more information is available and new stakeholders are brought onto the team.

Efficient visual communication and an in-depth design understanding are the greatest assets that BIM brings to the table at Pickering Associates. The composite model allows our team to accelerate project development and simplify conversations during design reviews. Having the capability to visualize all of the design models together in a single review session aides both inter- and

intra-department collaboration with all project stakeholders like never before. Capturing all client and designer comments and feedback within a 3D model live during a review session saves countless hours of paging through "redlines" generated from traditional 2D physical paper reviews. The added capacity to search and export reports of these digital comments allows our team to capture and track design communications more efficiently than ever before.

Pickering Associates has invested in state-of-the-art 3D Scanning technologies to more quickly and accurately document existing site conditions. This helps our design teams capture existing site data in more detail and in a format the blends well with our 3D modeling and BIM work flows.

This tool allows us to send a small scanning team into an existing building/space and digitize the as-built conditions of the area in three dimensions, including detailed color photographs throughout the scanned area for design teams to reference throughout the project. This data capture implementation is safer and more efficient for our designers. It reduces the time and equipment needed for traditional hand-measuring that our industry has been accustomed to throughout the years. Granting our designers the ability to measure from a 360 degree image or point cloud with higher accuracy and faster than field measurements.

Building Information Modeling is a process that starts at integrating the team, provides access to project information, incorporates tools to understand design execution, and allows teams to focus on what matters most for the project. It perfectly complements Pickering's Integrated Design Execution Approach, and we can't wait to show you BIM and our "IDEA"s!

# PAST PROJECTS

\* More Project examples available upon request

## **West Virginia Army National Guard** **Charleston, West Virginia**

Kenova Vehicle Exhaust HVAC Upgrades  
Camp Dawson Building 215 Windows and Door Replacements  
Camp Dawson Rappel Tower Renovation  
Camp Dawson Structural Repairs  
Camp Dawson Cottage Renovation (in progress)  
Eleanor Readiness Center HVAC Renovation  
Camp Dawson Bldg 215 Medical Wing Renovations (Design Complete)

## **West Virginia Air National Guard** **Charleston, West Virginia (Yeager Airport)**

Fire/Crash Rescue Station 130th Airlift Wing

## **West Virginia DNR** **Chief Logan State Park**

Park Recreation Center

## **Parkersburg, West Virginia**

District 6 Office Complex

## **North Bend State Park**

Lodge Renovations

## **West Virginia State Capital Complex** **Charleston, West Virginia**

Building 22 HVAC Renovation  
Governor's Mansion Roof Replacement

## **Wood County Schools** **Parkersburg, West Virginia**

Erickson Toilet Renovation  
Jackson Toilet Addition  
Jackson Handicap Toilet Renovation

## **Ritchie County Historical Society** **Ritchie Count, West Virginia**

Old Stone House Rehabilitation  
Pennsboro Masonry Rehabilitation  
Trailhead Reconstruction

## **Vienna Volunteer Fire Department** **Vienna, West Virginia**

Vienna Volunteer Fire Station Addition  
Police Station Generator Renovation

## **City of Parkersburg** **Parkersburg, West Virginia**

Old Sumner School Site and Building Evaluation  
Emerson New Fire Station Design & Construction Administration  
Covert Street New Fire Station Design & Construction Administration  
Liberty Street New Fire Station Design  
City of Parkersburg Master Planning Design

## **Hippodrome/Colony Historical Theatre Association**

### **Marietta, Ohio**

Colony Theatre Structural Slab Design  
Downtown Arch Conceptual Design  
Colony Theatre Renovation  
Colony Theatre Structural Assessment  
Creative Economy Marketing Materials

## **Mondo Building & Excavating** **Reno, Ohio**

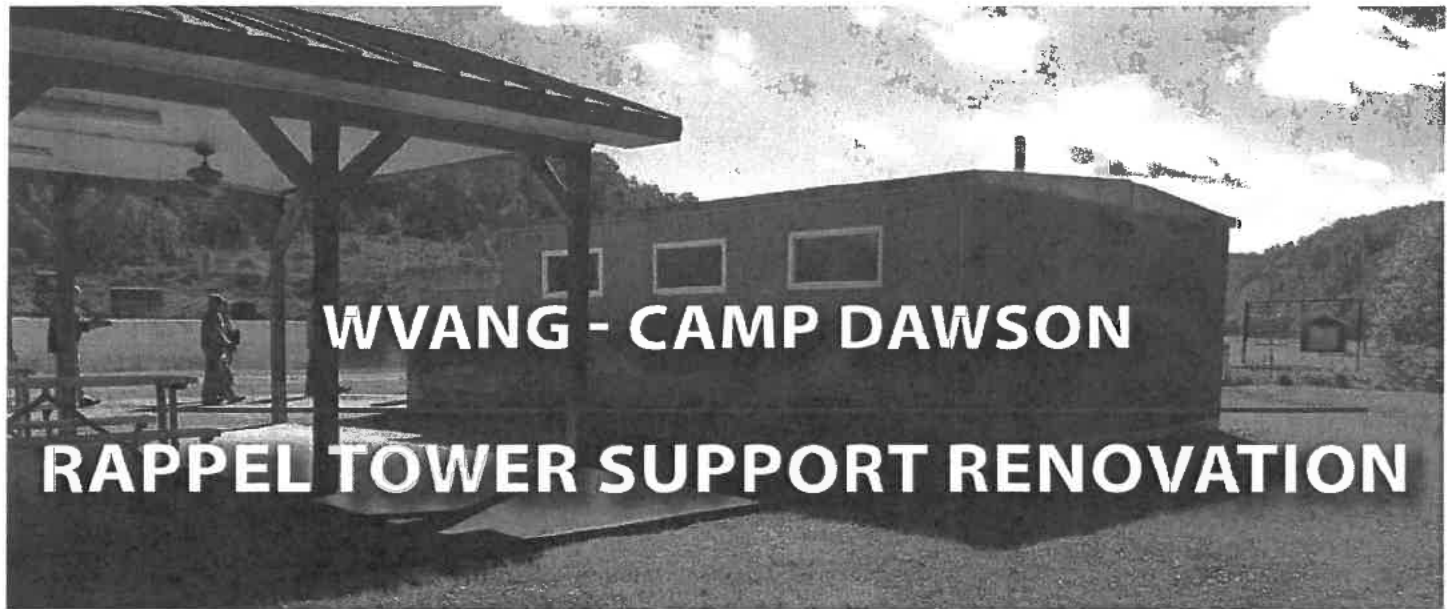
Marina Electrical Infrastructure  
Galaxy Grocery Store  
Polymer Expansion  
Heron's Nest Concept and Design  
Environmental Clean Up  
Vienna Starbucks  
Wetz Building  
PMC Belpre Building  
Mariana Landscape Planning  
Harbor Point Development Conceptual Designs

## **People's Bank** **Marietta, Ohio & Vienna, West Virginia**

New Division Street Office  
Division Street Detailed Design  
Marietta Office Renovation Des & Con Docs  
Marietta Office Elevator Upgrade

## **Williamstown National Bank** **Parkersburg, West Virginia**

Parkersburg Branch Renovations  
Williamstown Expansion Estimation  
Building Renovations  
Lubeck Branch Renovations



## PROJECT SPECS:

ESTIMATED PROJECT COST  
\$425,962

DESIGN COMPLETION  
APRIL 2019

CONSTRUCTION COMPLETION  
JUNE 2021

## SERVICES PROVIDED

ARCHITECTURE  
CIVIL  
ELECTRICAL  
MECHANICAL  
STRUCTURAL  
CONSTRUCTION MANAGEMENT

## CLIENT CONTACT

TODD REYNOLDS  
PROJECT MANAGER  
P) (304) 561-6658  
E) MATTHEW.T.REYNOLDS18.NFG@MAIL.MIL

The West Virginia Army National Guard Command was seeking architectural and engineering professional services for the restoration of the Rappel Tower Support Facilities at Camp Dawson. The Rappel Tower Support Facilities consists of two (2) pre-fabricated concrete buildings; one of which is a classroom building, and the other restroom facilities. Each building has some structural and sustainment issues that need to be addressed both structurally and mechanically. This facility is used by soldiers in training.

The design elements for the project generally included abating mildew and molded wall board and material from classroom area, addressing roof issues, storm drainage, design for new HVAC systems, new instantaneous domestic hot water system, restroom renovations, and new interior and exterior LED lighting for both buildings.

During the development and progression of design scope it was determined that the electrical service to the classroom building and the electrical distribution panel in the restroom building were insufficient to power the necessary and needed HVAC systems to meet the request to air condition the restroom building of the project. Pickering Associates addressed this additional scope with no delay in the schedule.



# WASHINGTON STATE COMMUNITY COLLEGE RESTROOM RENOVATIONS

## PROJECT SPECS:

PROJECT BUDGET  
TBD

SQUARE FOOTAGE  
APPROXIMATELY 2,200 SF

DESIGN COMPLETION  
JUNE 2016

CONSTRUCTION COMPLETION  
ON-GOING

## SERVICES PROVIDED

ARCHITECTURE  
ELECTRICAL  
MECHANICAL  
STRUCTURAL  
PIPING  
CONSTRUCTION MANAGEMENT  
PROJECT MANAGEMENT

## CLIENT CONTACT

JESS RAINES  
VICE PRESIDENT FINANCE AND OPERATIONS  
P) (740) 374-8716  
E) JRAINES@WSCC.EDU

Washington State Community College in Marietta, Ohio contracted with Pickering Associates to provide architectural services for ADA restroom review. The College desired to have all existing public restroom and staff restroom facilities in their main building reviewed for ADA compliance, and a plan put in place for correcting all areas that did not meet current ADA requirements. Pickering worked with the Client to identify all restroom facilities that needed to be reviewed and provided plans for potential renovations that the Client could use to modify their facilities for ADA compliance - as funds became available.

Eleven existing restroom areas were reviewed as part of this project in various parts of the main building and items such as toilet stall dimensions, fixture locations, accessory locations & mounting heights, and door swings were reviewed for each area. Once deficiencies were noted, a plan was then put in place to make corrections to each space for it to comply with current ADA requirements. Plans were developed for each area for the Client to use for permitting and construction purposes. Pickering coordinated all work with Mark W. Dodd with Washington State Community College and the college continues to update the restroom facilities as funding allows.



## PROJECT SPECS:

PROJECT COST  
\$70,300

SQUARE FOOTAGE  
600

DESIGN COMPLETION  
OCTOBER 2013

CONSTRUCTION COMPLETION  
FEBRUARY 2014

## SERVICES PROVIDED

ARCHITECTURE  
ELECTRICAL  
MECHANICAL  
PROJECT MANAGEMENT  
CONSTRUCTION MANAGEMENT

## CLIENT CONTACT

DAVID WHITE  
DIRECTOR OF FACILITIES  
304-424-8225  
DAVE.WHITE@MAIL.WVU.EDU

West Virginia University-Parkersburg (WVU-P) wanted to renovate existing toilet rooms in their Main Building. Pickering Associates provided design services to renovate and update the appearance of the restrooms.

The client wanted to add and/or replace fixtures and finishes in each of the toilet rooms to give them a more updated appearance. One of the lavatory fixtures in the men's restroom was removed. Some of the fixtures required minor shifting due to new wall-furring to cover the existing CMU. Ceilings, floors, wall materials, toilet partitions, lighting, accessories, and plumbing fixtures were replaced.

Pickering Associates worked with WVU-P to schedule the construction portion of the project to be performed over winter break, to minimize the inconvenience that comes with toilet renovations in public buildings.

This project was completed both on schedule and budget.





# WEST VIRGINIA UNIVERSITY AT PARKERSBURG

## MOLD REMEDIATION

### PROJECT SPECS:

#### PROJECT COST

\$443,289

#### SQUARE FOOTAGE

7,900

#### DESIGN COMPLETION

DECEMBER 2013

#### CONSTRUCTION COMPLETION

AUGUST 2014

### SERVICES PROVIDED

ARCHITECTURE

ELECTRICAL

MECHANICAL

PROJECT MANAGEMENT

CONSTRUCTION MANAGEMENT

### CLIENT CONTACT

DAVID WHITE

DIRECTOR OF FACILITIES

304-424-8225

DAVE.WHITE@MAIL.WVU.EDU

West Virginia University-Parkersburg (WVU-P) hired Pickering Associates to design upgrades, repairs and mold remediation in the former Center for Applied Technology and Training Wing of the main building, constructed in 1988-1989. The one story building was experiencing mold issues in several areas, so classroom spaces were being closed-off from use until remediation and repairs could take place.

Pickering Associates reviewed an existing environmental report and visited the site to determine and document the existing conditions. We designed and provided construction documents for roof replacement, replacing two existing air handlers in the building, removed one garage door, repair work associated with waterproofing the existing and partially underground wall and mold remediation for the space.

Pickering Associates also provided bidding and construction administration services for this project. This project was executed in a short time frame so the classroom areas could be opened and utilized.



## WVANG - CAMP DAWSON

# BUILDING 215 WINDOW AND DOOR REPLACEMENT & MEDICAL WING RENOVATIONS

### PROJECT SPECS:

ESTIMATED PROJECT COST  
\$1,800,000

DESIGN COMPLETION  
WINDOWS AND DOORS - SPRING 2019  
MED WING - MARCH 2022

CONSTRUCTION COMPLETION  
WINDOWS AND DOORS - FALL 2021  
MED WING - EST. FALL 2022

The West Virginia Army National Guard Command was seeking architectural and engineering professional services to renovate Building 215 at Camp Dawson. This facility houses West Virginia National Guard troops for training and medical examination.

Two separate projects took place. One project included complete replacement of doors and windows with new blast-resistant exterior doors and windows and all new interior doors. The second project includes complete demo and reconstruction of the medical wing to provide new waiting rooms, exam rooms, a dental suite, EKG room, hearing testing and multiple private offices, consultation rooms and restrooms.

### SERVICES PROVIDED

ARCHITECTURE  
ELECTRICAL  
MECHANICAL  
PLUMBING  
CONSTRUCTION ADMINISTRATION

### CLIENT CONTACT

JONATHAN NEAL  
DEPUTY BRANCH CHIEF  
TRAINING SITE BRANCH  
P) (304) 791-4138  
E) JONATHAN.I.NEAL.NFG@MAIL.MIL







# WOOD COUNTY SCHOOLS

## ERIKSON ALL SPORTS COMPLEX TOILET EXPANSION

### PROJECT SPECS:

PROJECT BUDGET  
\$780,000

SQUARE FOOTAGE  
2,635 SF

DESIGN COMPLETION  
DECEMBER 2018

CONSTRUCTION COMPLETION  
SEPTEMBER 2019

### SERVICES PROVIDED

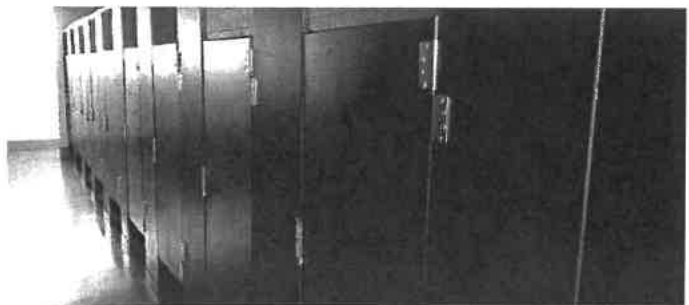
ARCHITECTURE  
CIVIL  
ELECTRICAL  
MECHANICAL  
STRUCTURAL  
PIPING  
CONSTRUCTION MANAGEMENT  
PROJECT MANAGEMENT

### CLIENT CONTACT

MARTIN BEST  
MAINTENANCE DIRECTOR  
P) (304) 420-9568  
E) MBEST@K12.WV.US

Wood County Schools hired Pickering Associates to take over a project under construction by the Erickson Sports Boosters and competitively bid the project out per Wood County's Procurement Policy. The proposed project scope consists of a new masonry building under the existing stadium area to provide space for toilet rooms and a concession area. Pickering was hired to modify construction drawings for the project that were designed over 20 years ago and never constructed. Pickering modified the plans and scope of work to fit into the owner's new project budget. The desired program included fewer toilets, entrance revisions, a new location for mechanical systems, and other revisions that were required to meet current building codes and ADA compliance requirements.

Pickering Associates developed a project approach to supplement the existing drawings to meet the desired changes and competitively bid the project. The team provided a complete re-design of the facility to meet the client's needs and coordinated all utility and permitting documents for the project. Pickering also oversaw all construction for the project.





# WOOD COUNTY SCHOOLS JACKSON ELEMENTARY TOILET ROOM ADDITION

## PROJECT SPECS:

PROJECT COST  
\$320,556

SQUARE FOOTAGE  
700 SF

DESIGN COMPLETION  
DECEMBER 2018

CONSTRUCTION COMPLETION  
AUGUST 2019

Wood County Schools hired Pickering Associates to design, bid, and perform construction administration for a new toilet room addition on the east side of the existing Jackson Middle School in Vienna, WV. The addition includes new ADA compliant restrooms for both male and female students, as well as a single occupant restroom for staff use. The new addition is approximately 700 SF and will be constructed of block and brick walls for durability and to match the existing adjacent building structure. The architectural and engineering project scope includes topographic survey, site layout for new building addition and utilities, structural analysis, and complete architectural, mechanical, electrical, and plumbing design for the addition.

## SERVICES PROVIDED

ARCHITECTURE  
CIVIL  
ELECTRICAL  
MECHANICAL  
STRUCTURAL  
SURVEYING  
PIPING  
CONSTRUCTION MANAGEMENT  
PROJECT MANAGEMENT

## CLIENT CONTACT

MARTIN BEST  
DIRECTOR OF PHYSICAL PLANT  
P) (304) 580- 9290  
E) MARTIN.BEST@K12.WV.US





# WV ARMY NATIONAL GUARD

## CAMP DAWSON COTTAGE RENOVATIONS

### PROJECT SPECS:

PROJECT COST  
EST \$1.25 MILLION

SQUARE FOOTAGE    3 COTTAGES:  
                                 1,300 SF  
                                 2,700 SF  
                                 3,400 SF

DESIGN COMPLETION  
95% COMPLETE

CONSTRUCTION COMPLETION  
TBD

### SERVICES PROVIDED

ARCHITECTURAL  
STRUCTURAL  
CIVIL  
ELECTRICAL  
MECHANICAL  
PLUMBING  
CONSTRUCTION MANAGEMENT  
PROJECT MANAGEMENT

### CLIENT CONTACT

JONATHAN NEAL  
PROJECT MANAGER  
WVARNG-CFMO  
P) (304) 791-4138  
E) JONATHAN.I.NEAL.NFG@MAIL.MIL

The West Virginia Army National Guard selected Pickering Associates to design improvements to three residential cottages at their Camp Dawson facility in Kingwood, W.Va. The cottages are used by traveling staff and visitors at the base. Each cottage has its own style, ranging from rustic to elegant, and will receive upgrades and improvements inside and out.

Renovations include new exterior siding and stone, windows, doors, and site improvements such as new patios and ADA ramps. Interior upgrades include total energy-efficient HVAC and lighting replacement, electrical improvements, new plumbing fixtures, fully remodeled restrooms and kitchens, and new interior doors. Some rooms will be redesigned to create an open floor plan in the living/kitchen areas, and some guest rooms will be provided with new private bathrooms where they were originally shared between rooms. In addition, all flooring and trim will be replaced, and all walls and ceilings will be painted or covered. New gas fireplaces will be installed in all three cottages.

Once complete, the cottages will be virtually entirely renovated for improved comfort, energy efficiency and safety for all guests and visitors.



# WEST VIRGINIA DIVISION OF NATURAL RESOURCES

## NORTH BEND STATE PARK LODGE RENOVATION

### PROJECT SPECS:

PROJECT COST  
EST \$3.4 MILLION

SQUARE FOOTAGE  
26,288 SF

DESIGN COMPLETION  
APRIL 2020

CONSTRUCTION COMPLETION  
SPRING 2022

### SERVICES PROVIDED

ARCHITECTURE  
BIM DESIGN  
CIVIL  
LANDSCAPE ARCHITECTURE  
STRUCTURAL  
MECHANICAL  
ELECTRICAL  
PLUMBING  
PROJECT MANAGEMENT  
CONSTRUCTION ADMINISTRATION

### CLIENT CONTACT

BRAD LESLIE  
CHIEF ENGINEER  
P) (304) 558-2764  
E) BRAD.S.LESLIE@WV.GOV

Pickering Associates worked with the West Virginia Division of Natural Resources (WVDNR) to perform design services for redecorating and renovating the North Bend State Park Lodge in Cairo, West Virginia. The project includes replacement of the existing membrane roofing system (approximately 16,000 SF), total ADA upgrades, modifications to improve the exterior facade and landscaping, as well as design of a pergola structure at the existing outdoor dining area.

Interior improvements included: Window replacement and addition of new window locations, door replacement and access control, new flooring throughout the building, toilet room upgrades, wall and ceiling finish replacement, plumbing fixture replacement, water heater replacement, new LED lighting throughout, addition of a fire alarm system, replacement of kitchen hood system, replacement of PTAC units in guest rooms, new mechanical system in dining room and lobby areas to replace existing PTAC units, add HVAC/fresh air to existing corridor spaces, addition of a standby generator, and material, color & furniture selection.

Virtually every interior and exterior feature was replaced or improved to create a comfortable and modern lodge.



# WEST VIRGINIA UNIVERSITY AT PARKERSBURG DOWNTOWN CENTER ELECTRICAL UPGRADE

## PROJECT SPECS:

PROJECT COST  
\$ 125,792

SQUARE FOOTAGE  
80,000

DESIGN COMPLETION  
DECEMBER 2010

CONSTRUCTION COMPLETION  
SEPTEMBER 2011

## SERVICES PROVIDED

ELECTRICAL  
ARCHITECTURE  
PROJECT MANAGEMENT  
CONSTRUCTION MANAGEMENT

## CLIENT CONTACT

ALICE HARRIS  
EXECUTIVE VICE PRESIDENT  
P) (304) 424- 8000  
E) EHARRI13@WVUP.EDU

Pickering Associates was hired by West Virginia University at Parkersburg to provide all Electrical design work and to manage the bid process and Construction Administration for an electrical upgrade in WVU-P's downtown facility.

Pickering Associates provided design and engineering to install a new 1200A, 480V electrical service and electrical distribution system in the West Virginia University at Parkersburg Downtown Facility. The project included a new main distribution panel and subpanels throughout the building for future building loads.

In order to fully upgrade the electrical systems, the project entailed the complete demolition and removal of the existing electrical distribution systems and service entrances. A new service entrance, main distribution panel and associated distribution panel board were also required. A scope change was implemented to add Architect and Project Management Services to the project.

This building has since then been renovated by Pickering Associates to accommodate local businesses.







## PAMELA WEAN, AIA

SENIOR PROJECT ARCHITECT  
PROJECT MANAGER  
BRANCH MANAGER

### BACKGROUND:

#### EDUCATION

FAIRMONT STATE COLLEGE  
B.S., ARCHITECTURAL TECHNOLOGY  
FAIRMONT STATE COLLEGE  
ASSOC. OF APPLIED SCIENCE - INTERIOR DESIGN

#### LICENSES

PROFESSIONAL ARCHITECT  
W.VA. & OHIO

#### CERTIFICATIONS

BUILDING CODE PLANS EXAMINER  
WV STATE FIRE MARSHAL

#### YEARS EXPERIENCE

35 YEARS

- Project Manager for WVANG Camp Dawson Rappel Tower Support Building Renovation
- Project Manager for WVANG Camp Dawson Bldg 215 Windows and Doors Replacement
- Project Manager for WVANG Camp Dawson Cottage Renovations
- Project Manager for WVANG Camp Dawson Bldg 215 Medical Wing Renovations
- Project Architect for the design of renovations for the Lodge at North Bend State Park.
- Project Architect for renovations of the Historic Ritchie Courthouse in Harrisville, W.Va.
- Project Architect for the design and construction of the new Franklin Elementary School in Franklin, W.Va.
- Project Architect for the design and construction of the new East Fairmont Middle School in Fairmont, W.Va.
- Project Architect for the design of renovations at the Fairmont Senior High School in Fairmont, W.Va.
- Project Architect for the design and construction of the Marion County Board of Education Office in Fairmont, W.Va.
- Project Architect for the design of the addition to Armstrong Flooring in Beverly, W.Va.
- Project Architect for the design and construction of renovations to Immaculate Conception Church in Clarksburg, W.Va.
- Project Architect for the design and construction of the Star Furniture Store at University Town Center in Morgantown, W.Va.

“ALWAYS BE A FIRST-RATE  
VERSION OF YOURSELF  
INSTEAD OF A SEC-  
OND-RATE VERSION OF  
SOMEBODY ELSE.”

Judy Garland



## JEFFREY HOSEK, P.E. LEED AP

MECHANICAL ENGINEER  
LEED PROJECT ENGINEER  
MECHANICAL ENGINEERING DEPARTMENT MANAGER

### BACKGROUND:

#### EDUCATION

UNIVERSITY OF AKRON  
B.S. MECHANICAL ENGINEERING

#### LICENSES

PROFESSIONAL ENGINEER  
W.VA., OHIO, KY., PA., LA., VA., MINN.  
LEED AP (BD&C)

#### YEARS EXPERIENCE

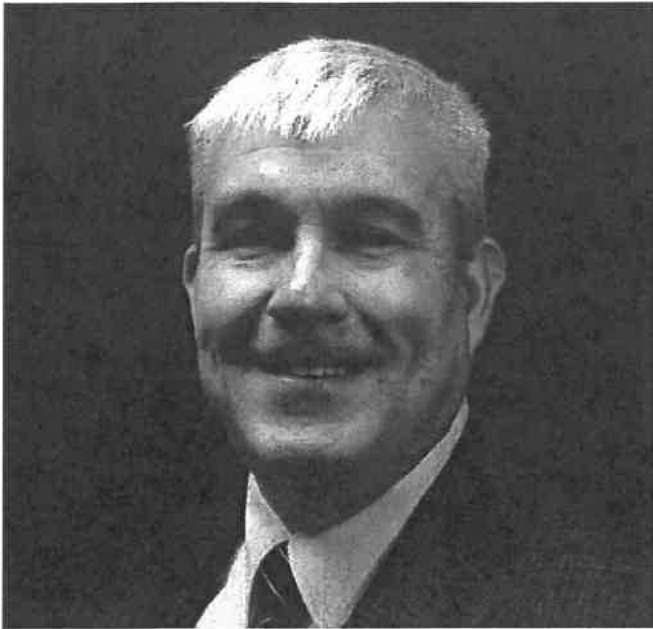
21 YEARS

SOMETIMES THE QUESTIONS ARE COMPLICATED AND THE ANSWERS ARE SIMPLE.

Dr. Seuss

- Mechanical Engineer of record for the design of a new \$25M high-rise dormitory at Glenville State College, in Glenville, W.Va.
- LEED Commissioning Project Manager on a design/build project for Washington Electric Cooperative in Marietta, Ohio.
- LEED Commissioning Project Manager for Kent State University which included a complete renovation to the fine arts building.
- LEED Mechanical engineer for a new 500,000 square foot distribution center and administration building for Honda American Motors.
- LEED Project Manager for converting a downtown Columbus, Ohio fire station into a local family health center.
- Mechanical Engineer for a new FBI field office in Cleveland, Ohio.
- Mechanical engineer for a new two story annex to the Vienna Volunteer Fire Department in Vienna, West Virginia.
- Mechanical Engineer of record for the design of a new \$25M high-rise dormitory at Glenville State College, in Glenville, W.Va.
- Project Manager performing an intense study to assess redundant cooling to Ohio University's Computer Center in Athens, Ohio.
- Lead Mechanical Engineer for an area of the hospital to be leased by a Physical Therapy provider.
- Project Manager and Mechanical Engineer for a new medical office building for O'Brien Hospital in Athens, Ohio.





## DAVID BOGGS, P.E.

EXECUTIVE VICE PRESIDENT OF DESIGN  
SENIOR MECHANICAL ENGINEER,  
SENIOR PLUMBING ENGINEER

### BACKGROUND:

#### EDUCATION

MARSHALL UNIVERSITY  
M.S. ENGINEERING MANAGEMENT  
VIRGINIA TECH.  
B.S. MECHANICAL ENGINEERING

#### LICENSES

PROFESSIONAL ENGINEER  
WV & OH

#### YEARS EXPERIENCE

23 YEARS

- Project Manager and Plumbing Engineer of record for the MEP services on a \$25MM high-rise dormitory in Glenville, W.Va.
- Project Manager and Plumbing Engineer of record for a dual boiler system replacement to a school in Parkersburg, W.Va.
- Project Manager and Plumbing Engineer of record for a potable water system repair in an elementary school in Vienna, W.Va.
- Project Manager for the conversion of a multi-unit HVAC system into a more efficient single unit system on a university campus in Parkersburg, W.Va.
- Project Manager and Lead Mechanical/Plumbing Engineer for multiple dormitory bathroom renovation projects at a college in Marietta, Ohio.
- Project Manager and Lead Mechanical Engineer for multiple projects at Ohio University in Athens, Ohio.
- Lead Mechanical/Plumbing Engineer of record for a new \$7MM medical office facility in Parkersburg, West Virginia.
- Lead Mechanical/Plumbing Engineer of record for a \$1MM medical/dental office facility in Parkersburg, West Virginia.
- Lead Mechanical/Plumbing Engineer of record on the design of a new science facility on a university campus in Vienna, W.Va.
- Lead Plumbing Engineer of record for a new 5,400 sq. ft. medical office building located in Belpre, Ohio.
- Lead Mechanical/Plumbing Engineer for a new medical facility located in Marietta, Ohio.

“DETERMINE THAT THE  
THING CAN AND SHALL  
BE DONE, AND THEN WE  
SHALL FIND THE WAY.”

Abraham Lincoln



## CARL HENSON, P.E.

ELECTRICAL DEPARTMENT MANAGER  
ELECTRICAL ENGINEER

### BACKGROUND:

#### EDUCATION

NEW JERSEY INSTITUTE OF TECHNOLOGY

M.S. ELECTRICAL ENGINEERING

WEST VIRGINIA INSTITUTE OF TECHNOLOGY

B.S. ELECTRICAL ENGINEERING

#### LICENSES

PROFESSIONAL ENGINEER

W.VA., OHIO, PA., IN., LA.

#### YEARS EXPERIENCE

31 YEARS

“ONE MAN’S ‘MAGIC’ IS AN-  
OTHER MAN’S ENGINEER-  
ING.

‘SUPERNATURAL’ IS A  
NULL WORD.



Robert A Heinlein

- Responsible for the electrical design and auditing of safety systems in industrial and commercial facilities.
- Trained by the National Fire Protection Association (NFPA) in evaluation of industrial hazardous area classification for flammable liquids and vapors, NFPA 497, and combustible dust, NFPA 499.
- Responsible for evaluation of industrial process documentation and determination of area classification for both hazardous vapors and dust.
- Over 15 year of hazardous area review and classification at local industries such as KRATON Polymers, American Styrenics, Solvay Specialty Polymers, Markwest, Zoetis and other industrial and commercial clients.
- Trained by NFPA 70E Electrical Safe Work Practices.
- Over 15 year experience in utilizing SKM Power Tools software for electrical system modeling to produce short-circuit, arc-flash, coordination and equipment evaluation studies for industrial and commercial applications.
- Over 15 of experience in developing NFPA 70E compliant arc-flash tags and training of qualified and non-qualified personnel for industrial and commercial safety programs.
- Responsible for electrical design for several oil and gas production facilities, including design of site power services, distribution and control wiring.
- Lead Electrical Engineer in designing high voltage (138-69kV) substations.
- Lead Electrical Engineer for a new 69 kV substation at a barge unloading facility in South Point, Ohio.



## ERIC SMITH, P.E.

DEPARTMENT MANAGER  
STRUCTURAL ENGINEER

### BACKGROUND:

#### EDUCATION

MARSHALL UNIVERSITY  
M.S. ENGINEERING MANAGEMENT  
WEST VIRGINIA UNIVERSITY  
B.S. CIVIL ENGINEERING

#### LICENSES

PROFESSIONAL ENGINEER  
W.VA. & OHIO

#### YEARS EXPERIENCE

14 YEARS

- Structural Engineer for a renovation and addition to the Mid Ohio Valley Technology Institute in Saint Marys, West Virginia.
- Structural Engineer for Salt & Motorcycle Storage Building for West Virginia University at Parkersburg in Parkersburg, W.Va.
- Structural Engineer on Eureka Hunter Pipeline, L.L.C. Low Water Crossing.
- Extensive technical experience with civil, structural, and geospatial software packages including STAAD Pro, Presto, Enercalc, AutoCAD, AutoDesk Land Desktop, AutoDesk Civil 3D, and Topo USA.
- Senior Project Manager and Structural Engineer of Record for Catwalk repairs at Ohio University in Athens, Ohio.
- Structural Engineer of Record for NESHAP improvements at Eramet Marietta, Inc.
- Structural Engineer of Record for the Ohio Department of Transportation Facility of Washington County, Ohio. Project included pre-engineered metal building, tensioned fabric structures.
- City of Marietta City Hall Renovations, Marietta, Ohio.
- City of Marietta Wastewater Treatment Plant Renovations, Marietta, Ohio.
- Marietta City Armory Renovations, Marietta, Ohio.
- General Projects for Local Industrial Plants.
- Roof and Elevator Project for Christ United Methodist Church Marietta, Ohio.

“PERFECTION IS NOT ATTAINABLE, BUT IF WE CHASE PERFECTION WE CAN CATCH EXCELLENCE.”

Vince Lombardi



## SPENCER KIMBLE, P.E.

CIVIL ENGINEERING DEPARTMENT MANAGER  
PROJECT MANAGER  
CIVIL ENGINEER

### BACKGROUND:

#### EDUCATION

WEST VIRGINIA UNIVERSITY  
B.S. CIVIL ENGINEERING

MARSHALL UNIVERSITY  
M.S. ENGINEERING MANAGEMENT

#### LICENSES

PROFESSIONAL ENGINEER  
WV, OH

#### YEARS EXPERIENCE

13 YEARS

“A SHIP IN PORT IS SAFE,  
BUT THAT IS NOT WHAT  
SHIPS ARE FOR. SAIL OUT  
TO SEA AND DO NEW  
THINGS.”

Rear Admiral Grace Hopper

- Civil Engineer for addition and renovation for the Emerson Public Library in Parkersburg, W.Va.
- Civil Engineer for addition and renovation for Mid Ohio Valley Technology Institute in Saint Marys, W.Va.
- Civil Engineer for approximately 7,000 linear foot waterline and meter replacement in Devola, Ohio.
- Project Manager and Civil Engineer for over 40 horizontal drilling locations throughout W.Va. and Ohio.
- Civil Engineer for a new subdivision in Marietta, Ohio.
- Civil Engineer for a new retail business in Utica, Ohio.
- Civil Engineer for a new restaurant in Vienna, W.Va.
- Lead Civil Engineer for the design of \$1.8M physical therapy administrative building on Parkersburg, West Virginia.
- Civil Engineer for Phase 1 and 2 of the Larry Lang First Colony Development.
- Lead Civil Engineer for the design of two medical office buildings totaling approximately 30,000 SF near the traffic circle in Parkersburg, W.Va.
- Civil Engineer for three new \$8M full service maintenance facilities for state DOT operations.
- Lead Civil Engineer for construction of a new 4 story hotel in Parkersburg, W.Va.
- Lead Civil Engineer for the design of \$1.8M physical therapy administrative building on Parkersburg, West Virginia.
- Lead Civil Engineer for the design of two medical office buildings totaling approximately 30,000 SF near the traffic circle in Parkersburg, W.Va.



## **WILLIAM SHOWALTER, P.S.**

SURVEYING DEPARTMENT MANAGER  
PROFESSIONAL SURVEYOR

### **BACKGROUND:**

#### **EDUCATION**

OHIO UNIVERSITY  
B.S. CIVIL ENGINEERING

#### **LICENSES**

PROFESSIONAL SURVEYOR  
WV [REDACTED] OH [REDACTED]

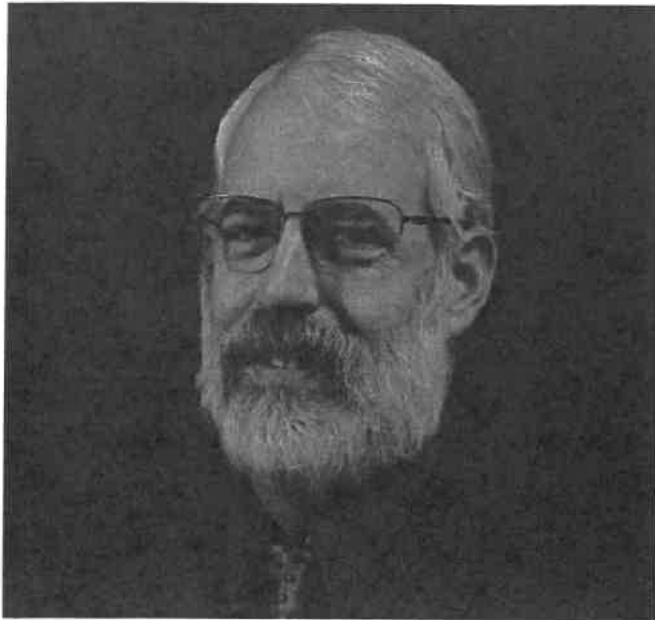
#### **YEARS EXPERIENCE**

22 YEARS

- Lead Surveyor for Tyler County, WV County Route 18/4 Widening Project.
- Lead Surveyor for Marshall County, WV County Route 7/4 Bridge Replacement Project.
- Lead Surveyor for Marion County, WV County Route 6/1 Widening Project.
- Lead Surveyor for Marion County, WV County Route 3/3 Widening Project.
- Lead Surveyor for Tyler County, WV County Route 42 Bridge Project.
- Lead Surveyor for City of Marietta State Route 60 Widening Project.
- Lead Surveyor for City of Marietta Green Street Widening Project.
- Lead Surveyor on Camden Clark Memorial Hospital South Tower Expansion.
- Lead Surveyor on Camden Clark Memorial Hospital Transportation & Phlebotomy Project.
- Lead Surveyor on St. Joseph Hospital Office Annex (DeSales Medical Center).
- Lead Surveyor on First Colony Center commercial development, Marietta, Ohio.
- Lead Surveyor on City of Vienna Water Tanks Renovation Project, Vienna, W.Va.
- Lead Surveyor on American Land Title Association (ALTA) Survey for the construction of a co-generation plant.
- Lead Surveyor for Triad Hunter -Ormet 2-15 Boundary.
- Lead Surveyor for MPH Hotels Comfort Suites project.

“WE ALL LIVE UNDER THE  
SAME SKY, BUT WE DON'T  
ALL HAVE THE SAME  
HORIZON.”

Konrad Adenaur



## SEAN G. SIMON, AIA, NCARB

SENIOR CONSTRUCTION ADMINISTRATOR  
PROJECT ARCHITECT  
COST ESTIMATING

### BACKGROUND:

#### EDUCATION

CONSTRUCTION SPECIFICATIONS INSTITUTE  
CONSTRUCTION DOCUMENT TECHNOLOGIST

UNIVERSITY OF TENNESSEE  
PROFESSIONAL BACHELOR OF ARCHITECTURE

#### LICENSES

PROFESSIONAL ARCHITECT

WV

#### YEARS EXPERIENCE

29 YEARS

- Project Architect for WV Governor's Mansion exterior evaluation and renovations.
- Project Architect for WV State Tax and Revenue Building Renovations.
- Project Architect for Mathias/Baker Fire Station.
- Project Architect for USDA Offices in Moorefield, WV.
- Project Architect for South Branch Cinema 6. This project included a 6 screen movie theater, which included 3 different theater sizes and a total of 800 seats.
- Project Architect for over 10 different banking facilities located throughout Virginia and West Virginia.
- Project Architect for a one story facility for the Beckley State Police/ Department of Motor Vehicle.
- Project Architect for a new Urgent Care facility in Moorefield, W.Va.
- Project Architect for the Monumental sign for Robert C. Byrd Courthouse in Charleston, W.Va.
- Project Architect for a renovation project for the Social Security and Department of Labor Office in Parkersburg, W.Va.
- Project Architect for construction a new vet clinic for the Lost River Vet Clinic.
- Project Architect for the construction of the original Eastern Community College.
- Project Architect for the construction of an 8,400 sf facility for the Moorefield National Guard Armory.
- Project Architect for an office headquarter design that was 2 stories at 35,000 sf and designed for a future 3rd floor.

QUALITY IS NOT AN ACT,  
IT IS A HABIT.



Aristotle



# REFERENCES



**CITY OF  
PARKERSBURG**

**City of Parkersburg  
Parkersburg, W.Va.**

Tom Joyce, Mayor of Parkersburg  
(P) (304) 464-5282



**City of Marietta  
Marietta, Ohio**

Joseph Tucker, P.E., City Engineer  
(P) (740) 373-5495  
(E) joseph.tucker@mariettaoh.net



**City of Vienna  
Vienna, W.Va.**

Randall Rapp, Mayor of Vienna  
(P) (304) 295-5070  
(E) rcrapp@suddenlink.net



**Randolph County Development  
Authority  
Elkins, W.Va.**

Robert L. Morris, Jr., Executive Director  
(P) (304) 637-0803  
(E) ROBBIE@RCDA.ORG

**Washington County Department of  
Jobs and Family Service  
Marietta, Ohio**

Flite Freimann, Director  
(P) (740) 434-0763



**WASHINGTON STATE  
COMMUNITY COLLEGE**  
Be Inspired. #BeWSCC

**Washington State Community College  
Marietta, OH**

Jess Raines, CPA, VP of Finance & Operations  
(P) (740) 885-5621  
(E) jraines@wscc.edu



**ADDENDUM ACKNOWLEDGEMENT FORM**  
**SOLICITATION NO.: ADJ2200000011**

**Instructions:** Please acknowledge receipt of all addenda issued with this solicitation by completing this addendum acknowledgment form. Check the box next to each addendum received and sign below. Failure to acknowledge addenda may result in bid disqualification.

**Acknowledgment:** I hereby acknowledge receipt of the following addenda and have made the necessary revisions to my proposal, plans and/or specification, etc.

**Addendum Numbers Received:**

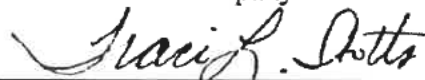
(Check the box next to each addendum received)

- |                                                    |                                          |
|----------------------------------------------------|------------------------------------------|
| <input checked="" type="checkbox"/> Addendum No. 1 | <input type="checkbox"/> Addendum No. 6  |
| <input type="checkbox"/> Addendum No. 2            | <input type="checkbox"/> Addendum No. 7  |
| <input type="checkbox"/> Addendum No. 3            | <input type="checkbox"/> Addendum No. 8  |
| <input type="checkbox"/> Addendum No. 4            | <input type="checkbox"/> Addendum No. 9  |
| <input type="checkbox"/> Addendum No. 5            | <input type="checkbox"/> Addendum No. 10 |

I understand that failure to confirm the receipt of addenda may be cause for rejection of this bid. I further understand that that any verbal representation made or assumed to be made during any oral discussion held between Vendor's representatives and any state personnel is not binding. Only the information issued in writing and added to the specifications by an official addendum is binding.

Pickering Associates

Company



Authorized Signature

03/28/2022

Date

NOTE: This addendum acknowledgment should be submitted with the bid to expedite document processing.

**DESIGNATED CONTACT:** Vendor appoints the individual identified in this Section as the Contract Administrator and the initial point of contact for matters relating to this Contract.

Traci Stotts, AIA / VP of Marketing

(Name, Title)

Traci Stotts, AIA / VP of Marketing

(Printed Name and Title)

11283 Emerson Avenue; Parkersburg, WV 26104

(Address)

304-464-5305 / 304-464-4428

(Phone Number) / (Fax Number)

tstotts@pickeringusa.com

(email address)

**CERTIFICATION AND SIGNATURE:** By signing below, or submitting documentation through wvOASIS, I certify that: I have reviewed this Solicitation in its entirety; that I understand the requirements, terms and conditions, and other information contained herein; that this bid, offer or proposal constitutes an offer to the State that cannot be unilaterally withdrawn; that the product or service proposed meets the mandatory requirements contained in the Solicitation for that product or service, unless otherwise stated herein; that the Vendor accepts the terms and conditions contained in the Solicitation, unless otherwise stated herein; that I am submitting this bid, offer or proposal for review and consideration; that I am authorized by the vendor to execute and submit this bid, offer, or proposal, or any documents related thereto on vendor's behalf; that I am authorized to bind the vendor in a contractual relationship; and that to the best of my knowledge, the vendor has properly registered with any State agency that may require registration.

By signing below, I further certify that I understand this Contract is subject to the provisions of West Virginia Code § 5A-3-62, which automatically voids certain contract clauses that violate State law.

Pickering Associates

(Company)



(Authorized Signature) (Representative Name, Title)

Traci Stotts, AIA / VP of Marketing

(Printed Name and Title of Authorized Representative)

03/28/2022

(Date)

304-464-5305 / 304-464-4428

(Phone Number) (Fax Number)

STATE OF WEST VIRGINIA  
Purchasing Division

## PURCHASING AFFIDAVIT

**CONSTRUCTION CONTRACTS:** Under W. Va. Code § 5-22-1(i), the contracting public entity shall not award a construction contract to any bidder that is known to be in default on any monetary obligation owed to the state or a political subdivision of the state, including, but not limited to, obligations related to payroll taxes, property taxes, sales and use taxes, fire service fees, or other fines or fees.

**ALL CONTRACTS:** Under W. Va. Code §5A-3-10a, no contract or renewal of any contract may be awarded by the state or any of its political subdivisions to any vendor or prospective vendor when the vendor or prospective vendor or a related party to the vendor or prospective vendor is a debtor and: (1) the debt owed is an amount greater than one thousand dollars in the aggregate; or (2) the debtor is in employer default.

**EXCEPTION:** The prohibition listed above does not apply where a vendor has contested any tax administered pursuant to chapter eleven of the W. Va. Code, workers' compensation premium, permit fee or environmental fee or assessment and the matter has not become final or where the vendor has entered into a payment plan or agreement and the vendor is not in default of any of the provisions of such plan or agreement.

**DEFINITIONS:**

**"Debt"** means any assessment, premium, penalty, fine, tax or other amount of money owed to the state or any of its political subdivisions because of a judgment, fine, permit violation, license assessment, defaulted workers' compensation premium, penalty or other assessment presently delinquent or due and required to be paid to the state or any of its political subdivisions, including any interest or additional penalties accrued thereon.

**"Employer default"** means having an outstanding balance or liability to the old fund or to the uninsured employers' fund or being in policy default, as defined in W. Va. Code § 23-2c-2, failure to maintain mandatory workers' compensation coverage, or failure to fully meet its obligations as a workers' compensation self-insured employer. An employer is not in employer default if it has entered into a repayment agreement with the Insurance Commissioner and remains in compliance with the obligations under the repayment agreement.

**"Related party"** means a party, whether an individual, corporation, partnership, association, limited liability company or any other form or business association or other entity whatsoever, related to any vendor by blood, marriage, ownership or contract through which the party has a relationship of ownership or other interest with the vendor so that the party will actually or by effect receive or control a portion of the benefit, profit or other consideration from performance of a vendor contract with the party receiving an amount that meets or exceeds five percent of the total contract amount.

**AFFIRMATION:** By signing this form, the vendor's authorized signer affirms and acknowledges under penalty of law for false swearing (W. Va. Code §61-5-3) that: (1) for construction contracts, the vendor is not in default on any monetary obligation owed to the state or a political subdivision of the state, and (2) for all other contracts, that neither vendor nor any related party owe a debt as defined above and that neither vendor nor any related party are in employer default as defined above, unless the debt or employer default is permitted under the exception above.

**WITNESS THE FOLLOWING SIGNATURE:**

Vendor's Name: Pickering Associates

Authorized Signature: [Signature] Date: 03/28/2022

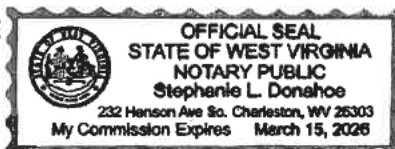
State of West Virginia

County of Wood, to-wit:

Taken, subscribed, and sworn to before me this 28<sup>th</sup> day of March, 2022

My Commission expires March 15, 2026

AFFIX SEAL HERE



NOTARY PUBLIC

[Signature]

Purchasing Affidavit (Revised 01/19/2018)