



Michael Baker Jr., Inc.
A Unit of Michael Baker Corporation

December 9, 2008

5088 West Washington Street
Second Floor
Charleston, WV 25313

304.769.0821 Phone
304.769.0822 Fax

Mr. Frank Whittaker, Senior Buyer
State of WV Department of Administration
Purchasing Division
2019 Washington Street East
Post Office Box 50130
Charleston, West Virginia 25305-0130

**RE: Expression of Interest to Provide Design & Engineering Services for
Expansion / Improvements to the Lodge & Golf Course @ Cacapon State Park
in Berkeley Springs WV, RFQ No. DNR209057**

Dear Mr. Whittaker:

Michael Baker Jr., Inc. (Baker) is pleased to present our qualifications and experience as it relates to the Design and Engineering Services for the Expansion / Improvements to the Lodge and Golf Course at Cacapon State Park. As you will see from the enclosed project profiles and personnel resumes, Baker has extensive experience in parks and recreation design. Baker's vast experience in parks and recreation design will allow us to provide the West Virginia Division of Natural Resources unmatched services and the ultimate successful construction of this unique project.

Baker is a global engineering and energy firm with some 5,000 members in 50 office locations. We propose to undertake this and any subsequent assignments from our Charleston, West Virginia office and support from the Alexandria, Virginia office. Our Charleston office employs over 40 individuals including engineers, architects, landscape architects, planners, surveyors, environmental specialists, and technicians.

We feel this combination of global expertise and West Virginia based experience is unique to Baker and will provide efficient, timely, personal, cost effective, and quality solutions for the West Virginia Division of Natural Resources and Cacapon State Park.

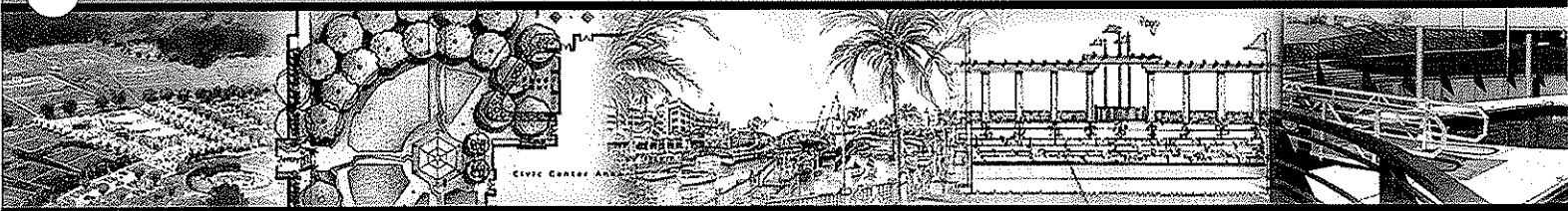
We continue to strive to be the best at what we do. No other firm can match our commitment. Please call us for an interview so that we can present our qualifications and convince you, in person, that Baker is eager to forge a long-term relationship with the West Virginia Division of Natural Resources. We would welcome the opportunity to become your project delivery team. For the purposes of future contact and further questions, please feel free to contact me at (304) 769-0821 or by e-mail at pfogarty@mbakercorp.com.

Sincerely,


Michael Baker Jr., Inc.

Patrick W. Fogarty, PE, PS
Civil Services Group Manager

ChallengeUs.



***Expression of Interest to Provide
Design/Engineering Services for***

**RFQ No. DNR 209057
Expansion / Improvements to the
Lodge and Golf Course
Cacapon Resort State Park
Berkeley Springs, West Virginia**

submitted to:

Mr. Frank Whittaker, Senior Buyer
Department of Administration - Purchasing Division
Building 15
2019 Washington Street, East
Charleston, West Virginia 25305-0130

submitted by:

Michael Baker Jr
5088 Washington
Charleston, West V

December 9, 2008

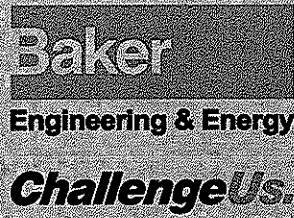
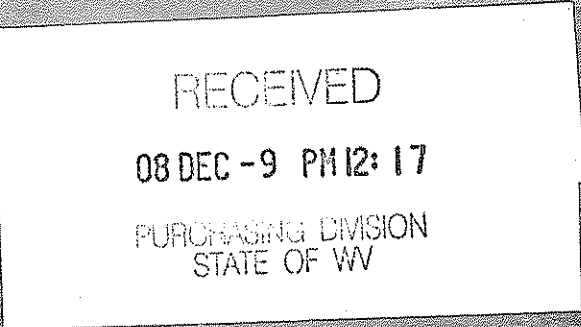




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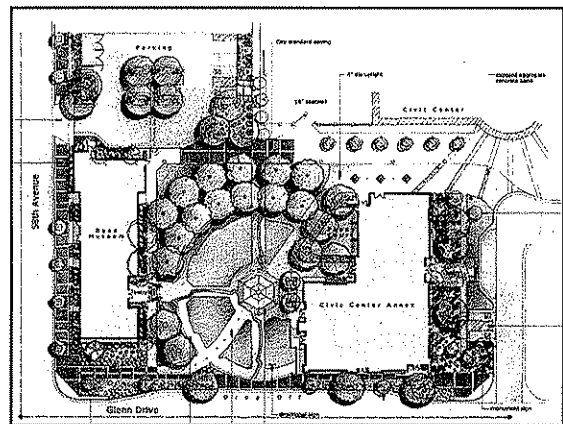
Appendix A - WV Purchasing Division Quotation Forms

Part 1 – Introduction

The West Virginia Division of Natural Resources - Parks & Recreation is seeking a highly qualified firm experienced in planning, design, and construction administration of expansion / improvements that will be functional, accessible, and aesthetically compatible with the surrounding area at *Cacapon State Park*. Michael Baker Jr., Inc. (Baker) is a highly qualified firm with extensive experience in providing these services, and we are extremely interested in continuing a professional relationship with the West Virginia Division of Natural Resources - Parks & Recreation.

Corporate Capabilities

Baker is a wholly owned subsidiary of the Michael Baker Corporation (a publicly owned company traded on the American Stock Exchange), employs over 4,700 people in 50 offices world-wide, and ranks in the top 10% of the nation's top 500 engineering firms. Baker provides consulting, engineering, architecture, landscape architecture, operations, and technical services worldwide. The firm has a national practice with 34 offices throughout the U.S. from which to serve our domestic clients. Our multi-national architectural/engineering services result in over \$400M gross revenue per year. We are committed to using the latest computer technology and provide best quality services in the areas of Facility Design and Planning, Landscape Architecture, Environmental Design, and CADD.



Downtown Plaza, Glendale, Arizona

Baker has extensive resources and the required qualifications to provide planning and design services for the West Virginia Department of Natural Resources - Parks & Recreation for this important project. We have nationally recognized experts with the technical experience necessary for this assignment. In addition, Baker's team of experienced professionals have an established record of delivering quality work products to our clients, **on schedule and within budget.**

"Baker has evolved into one of the leading engineering and architectural services firms by consistently providing targeted solutions for its clients most complex challenges."

Baker is a "single-stop resource" capable of providing comprehensive professional services, from environmental and public safety planning, final design, and construction management through operational support. From major new bridges and roadway designs to surface mine permitting and water resource projects, Baker has evolved into one of the leading engineering and architectural services firms by consistently providing targeted solutions for its clients most complex challenges.

In summary, Baker's staff can provide documentation of our extensive experience in the following areas for this project:

- Nationally recognized expertise in Park Development Projects
- Transportation (Bridge, Access Roads, and Trails) Plan Preparation
- Graphic Design Skills (CADD)
- Coordination with State and Federal Agencies, as required



WVU Student Recreation Center

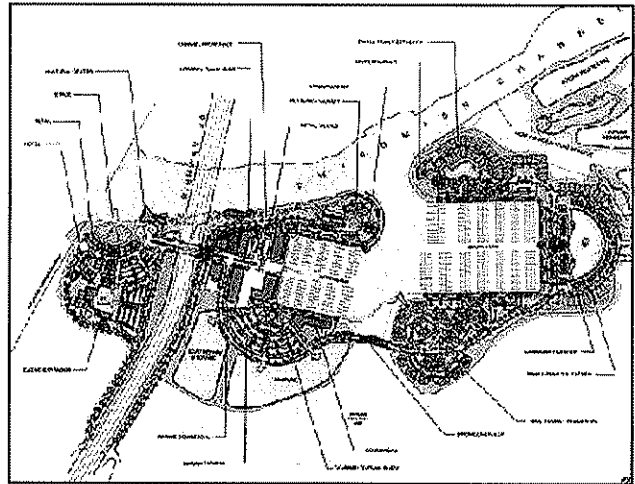
Baker's clients for facilities design and program management include, but are not limited to, the Counties, Cities, Towns, and local municipalities, numerous State Divisions of Transportation, Military facilities, airport complexes, and private sector clients. Baker's geographic location and extensive experience enables us to quickly respond to wide-ranging scopes of service in order to meet client needs.



Stonewall Jackson Lake State Park Resort Lodge Complex Development

Part 2 - Qualifications

Baker routinely provides architectural / engineering services and project management for the design of recreational facilities, and the associated construction oversight when required. Project assignments have also included maintenance facilities, garage facilities, emergency services facilities, and office buildings. Services for these assignments have included planning, surveying, mapping, right of way services, geotechnical design, architecture, civil, mechanical, electrical, plumbing and structural engineering, and public safety programming, permitting and cost estimating. Specific project elements have included, architecture, landscaping, retainage structures, access road design, utility adjustment/relocation, storm drainage, water, and sewer connections, site design, parking, fire protection design, pump stations, electrical duct banks, gas mains, fiber optic communication systems, and corrosion control systems, HVAC design, oil/water separators, and security systems.

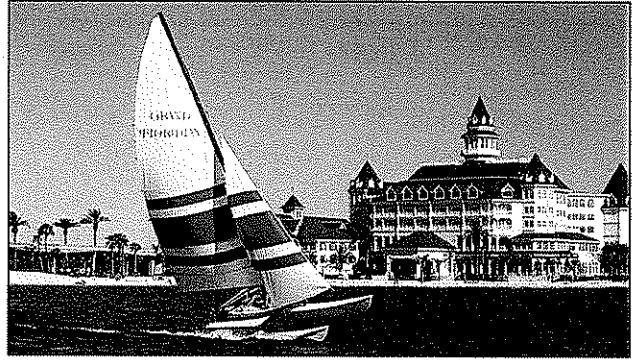


Marina Master Plan, LaConner, Washington

Baker's expertise includes but is not limited to:

- Recreational Parks
- Land Development / Landscape Architecture
- Recreational Trail Design
- Water Treatment
- Water Storage Tank Design
- Wastewater Treatment
- Pump Station Design
- Storm water Management

- Access Road Design
- Utility Corridors
- Land Title Surveys
- Decorative Retaining Walls / Noise Abatement Walls
- Major Utility Adjustment / Relocation Programs in Urban and Rural Areas
- Business and Industrial Parks
- Subdivision Planning
- Right of Way and Easements
- Construction Inspection Services



Disney's Grand Floridian Resort and Spa



Part 3 - Technical Expertise

Baker can offer the West Virginia Division of Natural Resources proven experience in the following Professional Services consistent with the requirements of typical projects of the nature identified in your Request for Proposals:

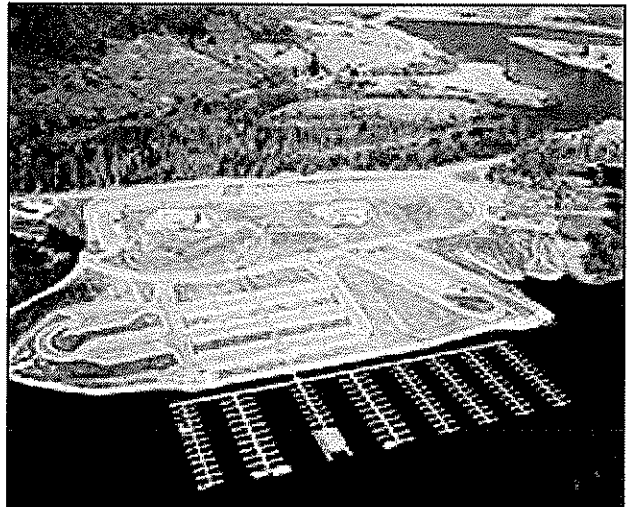
1. Pre-Design Planning and Costs

During this phase, Baker proposes to clarify project goals and design issues, provide a program for basis of design to ensure the project reflects the client's values and Opinion of Probable Construction Cost. These documents will detail the individual elements required for the architectural, site design, engineering, environmental, traffic and permitting issues associated with the proposed development within the *Cacapon State Park* property.

Members of our Charleston, West Virginia office will be heading up this project from the preliminary phases through construction. Our staff has the knowledge and skills required for architectural design, space standards, construction methods, costs and timelines. We will assist the client in determining project goals, project constraints and opportunities, and prioritizing client and user values. We will prepare Preliminary Cost Estimates for this phase to assist the client's determination of the project priorities and to maximize your dollar.

2. Plans and Specification Preparation

Baker has vast experience in the development of construction documentation, detailing, and technical specifications for all types of engineering and recreational projects. Initial survey data, topography, and physical features are collected electronically and downloaded into our CADD system for use by the designers in either AutoCAD or Microstation format. Detail Sheets are created from our Standard Detail Library then modified to suit specific project applications. Specifications in Microsoft



*Stonewall Jackson Lake, Recreation Area,
Weston, West Virginia*

Word format are created from our Master Spec Library and tailored to meet individual project requirements.

During the project design phase, Baker routinely prepares permit applications for public and private clients. We have recently been involved in this process for local Towns and Public Service Districts. Permits which may be required for this project include:

"We have established relationships with each of these agencies which will streamline the permit acquisition process."

- WV Division of Environmental Protection, NPDES Permit;
- WV Division of Health, Waterline Permit, Sewer Line Permit;
- WV DNR Public Land Corporation, Stream Activity Permit;

We have established relationships with each of these agencies which will streamline the permit acquisition process.

3. Construction Management Services

Baker is well equipped to provide the administration and inspection of construction projects. Pre-Construction and regular job-site meetings, as well as shop drawing and submittal review, requests for information, pay requests, close-out documents and all construction-related correspondence will be the responsibility of the Project Manager. Resident inspection services will be conducted by Baker technicians or staff engineers trained in construction practices and certified, as required, for the particular type of installation (i.e. concrete placement, compaction, asphalt, trenching, etc.). Constant communication between field and office is essential and will be achieved via cell phone, internet and email access and facsimile.



Baker, Construction Monitoring

Part 4 - Management and Staffing Capabilities

Baker's Charleston office possesses a large and diverse architectural, engineering and environmental planning staff. Baker's team of experienced professionals has demonstrated the ability to deliver quality work products to our clients, on-time and within budget. Each individual on this team has extensive experience in their field of expertise and have demonstrated success on projects of similar size and scope. The following provides a brief discussion of each team member's experience base relevant to this project.

"Each individual on this team has extensive experience in their field of expertise and have demonstrated success on projects of similar size and scope."

As Principal-In-Charge, **Russell Hall, P.E., P.S.**, will ensure that all required resources including staff and equipment are available to the project manager to execute the project successfully. Mr. Hall has over 20 years of experience in civil engineering working in both the government and private sectors. Mr. Hall has been responsible for the design and management of multiple multi-disciplinary projects of varying size and complexity. His experience, understanding of project delivery and dedication to client satisfaction will guide this project.

Patrick W. Fogarty, P.E., P.S., is the Civil Services Group Manager. Mr. Fogarty has over 22 years of experience with civil engineering projects of various size and levels of complexity. Mr. Fogarty will ensure that quality deliverables are submitted according to project schedule and within budget. Some of his notable projects that are directly related to the current proposed project are as follows:

- Putnam County Parks and Recreation Commission, Hurricane, WV,
 - Valley Park – Waterslide Tower and Splashdown Pool Design
 - Museum in the Community – Site/Civil Design
- Kanawha County Parks and Recreation Commission, Charleston, WV,
 - Coonskin Park – Conceptual Plan for Soccer Fields and Trails
 - Coonskin Park – Shelter and Wedding Garden Design

Ron L. Bolen, AIA, with over 35 years of diverse experience, will serve as the Project Manager for the Baker effort of the architectural design of this project. Mr. Bolen's project design experience includes parks, recreation, master planning, educational, institutional, commercial, housing, health care, long-term care, and religious facilities. He is experienced with the submittal process for State Agencies,

including State Purchasing and State Fire Marshal's office. Some of his notable projects that are directly related to the current proposed project are as follows:

- Grandview State Park Amphitheater renovations – Grandview, WV
- Lorrie Duhe Bread & Breakfast - Hinton WV

R. Todd Schoolcraft, PLA, ASLA, Mr. Schoolcraft has over 16 years of experience in site planning and landscape architecture. He will be the principal point-of-contact with WVDNR, Parks and Recreation, and will be in charge of all coordination activities. He will be responsible for coordinating the surveying and data collection as well as the preparation of the bidding documents, construction plans, and project manual. His experience includes numerous parks, campgrounds, and recreational planning projects.

Jack L. Justice, P.E., P.S. Mr. Justice has over 47 years of engineering experience and will provide quality assurance services for this project. He spent the past 36 years with the Federal Highway Administration where he performed design review of numerous highway and bridge projects in the states of Pennsylvania, Maryland, Delaware and West Virginia.

Terry L. Myers. Mr. Myers has over 29 years of diverse experience, primarily in the sanitary engineering field that includes design, project management, client management, surveying, construction inspection and field testing for numerous assignments with municipalities, private developers and water/sewer districts. Mr. Myers served as the General Manager of Lincoln Public Service District, Lincoln County, West Virginia.

Laura L. Cox, C.L.A., ASLA, will assist Mr. Schoolcraft and be responsible for document production and graphics compilation for the project. Ms. Cox has over 26 years of extensive experience with all types of land and facilities design and has particular expertise with city, county and regional planning and zoning.

Metro D. Zatchey, Jr. Mr. Zatchey has extensive experience in lighting design, including conventional (low mast) and high mast lighting systems, tunnel lighting systems, highway sign lighting systems, and bridge navigational lighting systems. He has worked with various state agencies in the design and development of lighting systems on major highway, bridge, streetscape, tunnel, parking area and recreational projects.

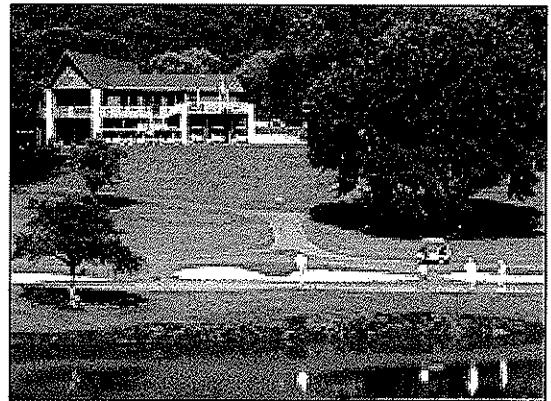
John W. Dawson, P.E., P.S., will serve from our Hedgesville WV office, for the Construction Administration Services. Mr. Dawson has over 34 years of construction management experience. In his tenure at WVDOH, he has worked

Part 5 - Project Outline

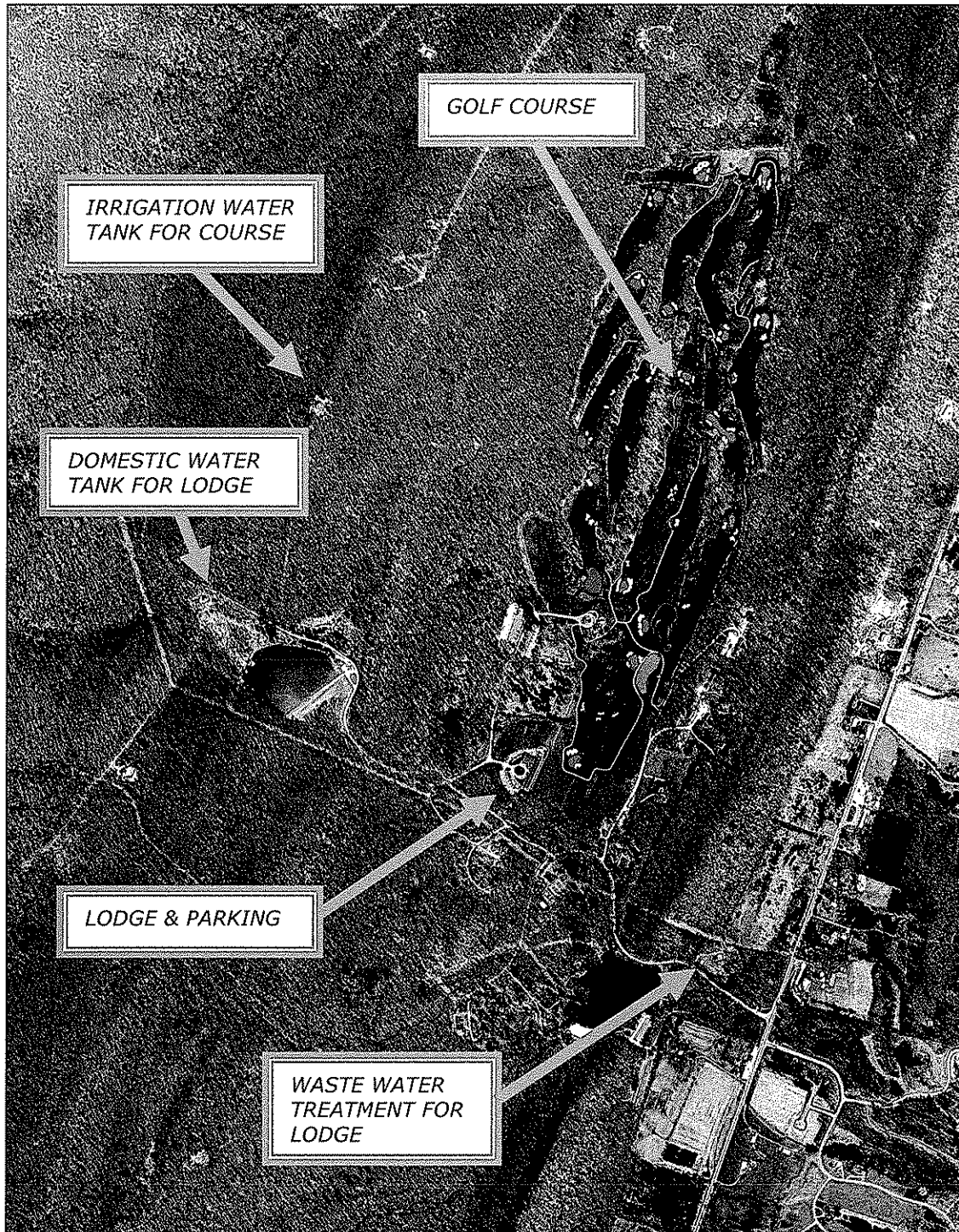
We have carefully reviewed your Request for Expressions of Interest and visited the project site to improve our familiarity with the project and to identify any additional issues. Based upon this intelligence, Baker has developed the following project outline:

Existing Conditions / Issues

- The existing lodge facility is located at:
Cacapon Resort State Park
818 Cacapon Lodge Drive
Berkeley Springs, WV 25411-3300
- The existing lodge facility was constructed in approximately 1955 with the addition of a conference room and other renovations in 1999.
- The existing Lodge is situated on the east side of the mountain overlooking the golf course.
- The existing lodge facility is not on any list of historic structures. However, any additions will respect the existing architecture and will be submitted to SHPO and the Division of Culture and History for comment.
- The existing lodge facility is approximately 52,000 sq. ft.
- The existing water and wastewater treatment plants for the lodge facility are approximately 50,000 gpd.
- The existing wastewater treatment plant for lodge facility is an extended aeration system. The discharge with expiration date of 5/13/09 is into the Indian Run of Sleepy Creek. The system is to remain in operation during construction.
- The existing HVAC system for the lodge facility is a single pipe boiler / chiller system. The Owner is interested in exploring methods to improve or upgrade this system.



Existing Conditions / Arial Map



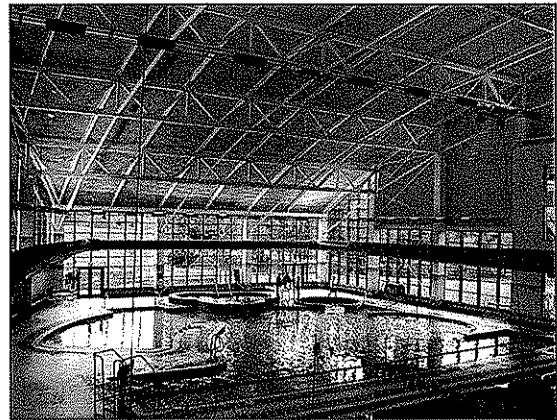
Project Understanding

- Baker will provide necessary professional architectural, engineering and related services to plan and construct an expansion and improvements to the golf course, and improvements to the water supply and waste water treatment systems at Cacapon State Park.

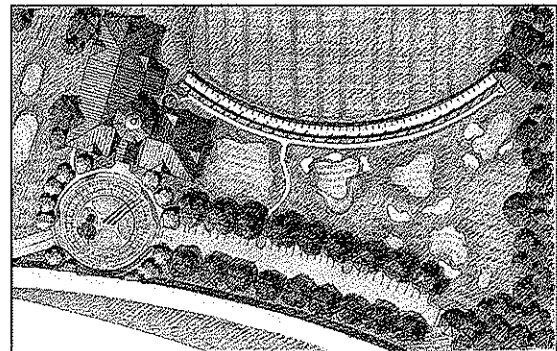
- The improvements to the lodge may include:
 - 100 new guest rooms, room furnishings, necessary common space and elevator(s).
 - A connecting corridor between the existing lodge and new facilities.
 - Additional parking and improvements to the existing parking lot.
 - Installation of a sprinkler system in the existing lodge to comply with current fire safety code requirements.
 - Fitness area, full service spa, and indoor swimming pool.
 - An expansion of the existing lodge dining room and kitchen facilities with related equipment improvements and replacements.
 - Improve the HVAC of the existing lodge.
 - Landscaped outdoor patio at the lodge overlooking the golf course.
 - All required furnishings to make these facilities functional.

- The improvements to the golf course may include:
 - Renovation of the sand bunkers.
 - General drainage improvements.

- The improvements to the water supply system may include:
 - New groundwater wells and related controls.
 - New raw water line to the existing water treatment plant.
 - Upgrade the existing water

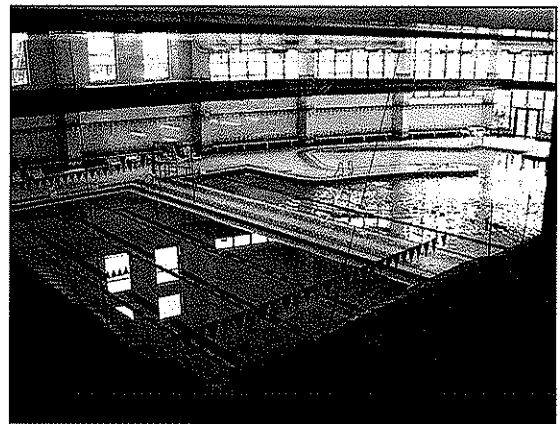


*Student Recreation Center WVU,
Morgantown, West Virginia*



Langston Golf Club, Washington DC

-
- treatment plant to provide additional capacity.
 - Upgrade miscellaneous piping as necessary to connect to new wells.
 - The improvements to the lodge may include:
 - 100 new guest rooms, room furnishings, necessary common space and elevator(s).
 - A connecting corridor between the existing lodge and new facilities.
 - The improvements to the wastewater treatment system may include:
 - Renovate or replace existing wastewater treatment plant that serves the lodge.
 - Baker will provide necessary professional architectural and engineering services including those necessary to effectively plan and produce construction documents and specifications and other related services to complete this project.



*Student Recreation Center WVU,
Morgantown, West Virginia*

Technical Approach

Conceptual Planning Phase

During this phase Baker will collect all available data including utility maps, property plats, soil surveys, existing building drawings, etc. Field investigations may include metal/pipe detectors, digging with hand tools, and surveying to trace out/map the existing infrastructure installed over the past few years. Evaluations will be made on those utilities to ascertain which is viable and which needs augmentation. We propose to then update any existing information to AutoCAD formatted existing as built drawings which would be used for the proposed improvements and expansions.

Design Development Phase

Once the revised concepts have been approved by the West Virginia DNR - Parks & Recreation, Baker will prepare design development drawings and outline specifications for submission to WVDNR, Parks & Recreation. This will consist of a 50% Design Submittal prepared for review and approval.

Construction Documents Phase

Upon receipt of comments from the Design Development submittal, Baker will prepare construction plans, technical specifications, bid documents, final construction estimates, and all necessary permit applications. Likewise, we will assist the West Virginia Division of Natural Resources - Parks & Recreation in the preparation of funding applications for future construction phases, if necessary.

Bidding Phase

During this phase, if needed, Baker will prepare the Bid Advertisement, conduct the Pre-Bid Conference, prepare and necessary Addenda, perform the Bid Opening, create and distribute the Bid Tabulation, provide a recommendation of Award of Contract, and complete the Notice of Award for execution by the West Virginia Division of Natural Resources - Parks & Recreation.

Construction Phase

Initially, Baker will request insurance and scheduling information from the successful bidder and complete the Contract Documents and Notice to Proceed. Construction administration services may consist of shop drawing review, processing requests for information, monitoring construction progress, conducting construction meetings, processing payment applications, Davis-Bacon compliance testing, and providing construction inspection.

Project Closeout Phase

Baker will develop the final punch list for incomplete work. Once these items have been completed, we will verify payment of State taxes and process the final payment and retainage. Baker will perform a final walk through to ensure that the facility and project site are complete and in a clean condition prior to releasing the Contractor and ensure the WVDNR is completely familiar with the systems operation. Baker will collect and deliver to the West Virginia Division of Natural Resources - Parks & Recreation any Operation and Maintenance information, as well as all final documentation for the project. The West Virginia State Parks & Recreation would then end up with a well developed final documentation for the Lodge and utilities, public safety issues and all other functional elements.

The one-year warranty period will commence at that time. The WVDNR will be urged to contact the Baker Project Manager during that time should any problems arise at the facility. We will promptly respond with a confirmation site visit and follow-up with the Contractor to ensure compliance.

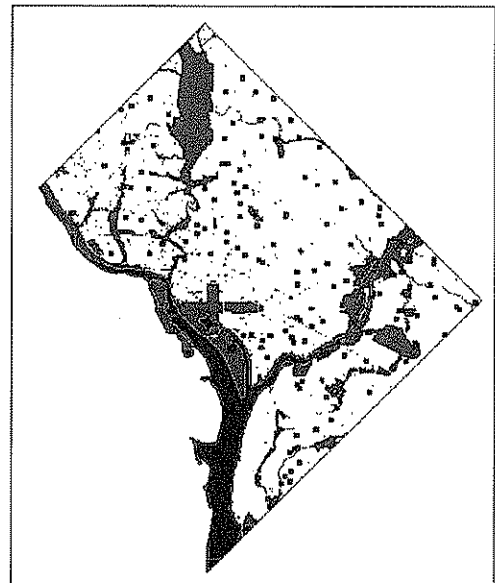
Part 6 - Related Prior Experience

The following Project Descriptions illustrate Baker's related prior experience. We have included examples of park development and recreational facilities from various locations across the nation. Many of these projects are LEED® and/or SPIRiT (Sustainable Project Rating Tool) rated. We believe these projects show the depth of our expertise in all aspects of engineering and architecture. While we propose to conduct activities from our West Virginia operation, these diverse project locations are meant to emphasize our *One Baker* philosophy, which simply means that the West Virginia Division of Natural Resources - Parks & Recreation will have access to the human resources, expertise, and technology of all Baker locations as particular needs arise. Our Alexandria, Virginia Office will provide the majority of any additional support as needed for this assignment.

"...the West Virginia Division of Natural Resources - Parks & Recreation will have access to the human resources, expertise, and technology of all Baker locations should the need arise."

In addition to this project experience, members of Baker's Charleston office have established relationships with the numerous funding and regulatory agencies including:

- WV Development Office
- US Division of Housing and Urban Development (HUD)
- Federal Highway Administration (FHWA)
- USDA Rural Utility Service
- US Division of Commerce E.D.A.
- US Environmental Protection Agency
- WV Division of Environmental Protection
- WV Division of Transportation / Division of Highways



District of Columbia Recreation Facilities

Lodge Complex Development

Stonewall Jackson Lake State Park Resort, Roanoke, West Virginia

Baker provided scheduling and quality control under a construction management service agreement for the construction of a new Lodge Complex at Stonewall Jackson Lake State Park in Roanoke, West Virginia. The 158,000-square-foot Lodge and Conference Center consists of four three-story wings and 196 guest rooms. The facility is constructed on over 10 acres of scenic park property overlooking a 2,650-acre lake, nature trails, and adjoining premiere 18-hole golf course.

The Lodge and Conference Center is constructed of natural stone, cast-in-place concrete, structural precast concrete, concrete masonry, structural steel, metal decking, synthetic plaster, fiber-cement siding, standing seam roofing, insulated single-ply roofing, skylights, coiling shutter doors, wood doors, and aluminum store-front windows and curtain wall. Sitework included all new infrastructure, including electrical service from a newly constructed substation, and an HVAC system using electric heat pump and exchangers.

Baker also performed design reviews on the electrical and mechanical systems.

Client

McCabe Henley Durbin
KB&T Center, Suite 300
107 Capitol Street
Charleston, WV 25301

Completion Date

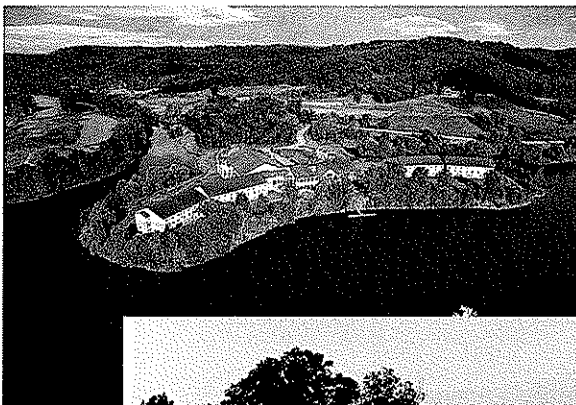
2003

Project Costs

\$18,000,000 (Construction)
\$17,929 (Fee)

Baker's Role

- Construction Management
- Scheduling
- Quality Control
- Electrical/Mechanical Systems Design Review



New Clubhouse & Driving Range

Langston Golf Club

This conceptual design for a new clubhouse, driving range and golf school training facility at an historic park was developed for Golf Course Specialists.

Baker's challenge was to plan and design a facility that respected the historic designation for the site, as well as provide access and parking close to the new clubhouse and driving range, while also providing parking and security for golf carts. The location and design for the club and driving range provides high visibility from the elevated metrorail that runs adjacent to the site. The clubhouse is located next to the driving range and allows easy access and views to the golf course.

Client

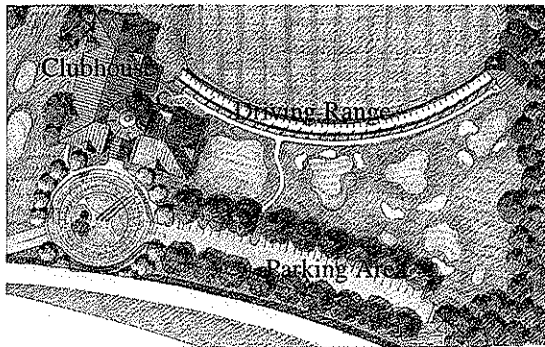
Golf Course Specialists

Location

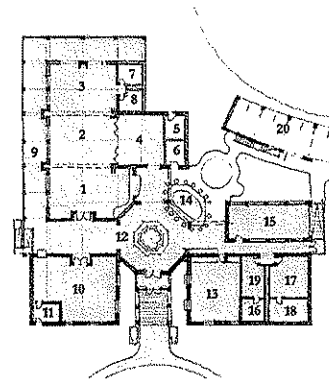
Washington, DC

Baker's Experience

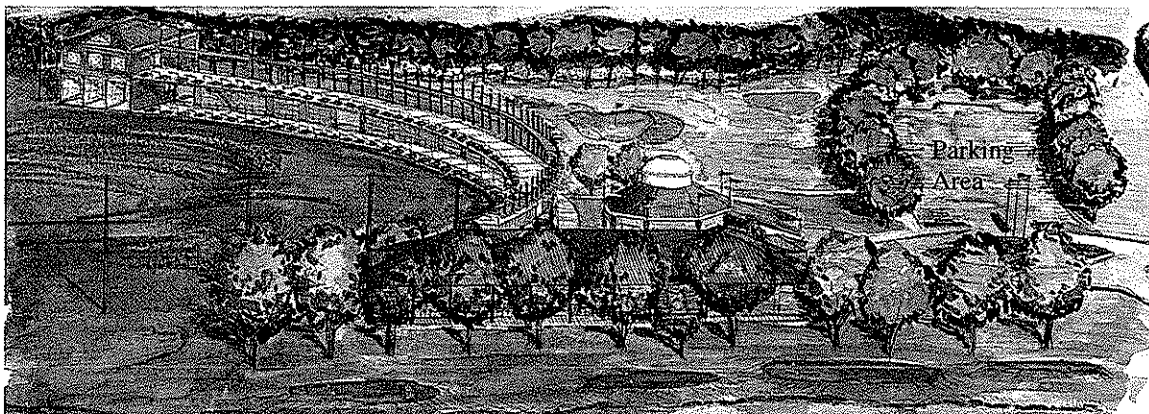
- Programming
- Preliminary Schematic Design



Site Plan



Schematic Floor Plan for Clubhouse



Aerial View of Proposed Clubhouse, Driving Range, and Training Rooms

Roanoke Bay Recreation Area Stonewall Jackson Lake *Weston, West Virginia*

Baker performed all site and infrastructure design for this recreation area, which is owned and operated by the State of West Virginia. The assignment called for preliminary and final design, the preparation of 102 sheets of construction plans and specifications, cost estimates, and reports.

Baker's responsibilities included:

- Surveys and mapping
- Geotechnical investigations
- Hydrologic and hydraulic analysis of the entire site
- Civil and sanitary engineering
- Mechanical and electrical engineering
- Landscape architectural design and recreational resource planning
- Facilities designed by Baker include:
 - 3.5 miles of access and secondary roads
 - 52 storm drainage pipes ranging in diameter from 18 inches to 60 inches
 - Campgrounds facilities
 - Marina and boat launching area
 - Parking lots
 - Picnic areas
 - Water treatment facilities
 - Water distribution system
 - Sanitary sewage treatment facilities

Client

U.S. Army Corps of Engineers,
Pittsburgh District
Federal Building
1000 Liberty Avenue
Pittsburgh, PA 15222-4186

John Griber

Chief - Design Branch
412-644-6820

Completion Date

Estimated: 1993
Actual: 1993

Project Costs

\$11,500,000 (Construction)
\$422,599 (Fee)

Baker's Role

- Geotechnical engineering for foundation design of all service roads, structures, water treatment plant, wastewater treatment plant, and water storage tank
- Surveys and mapping using aerial photography for the entire 1000+ acre site
- Architectural, mechanical and electrical engineering for the park structures
- Landscape architectural and recreational resource planning for boat marina, campgrounds, and rental cabins

Lake Lynn Recreational Facility

West Virginia and Pennsylvania

The Lake Lynn Recreational Facility borders the dam area of Cheat Lake, which is located in Monongalia County, West Virginia and Fayette County, Pennsylvania. The mountain setting and nearby lake offer an ideal setting for recreational uses. To take advantage of these natural amenities, an abandoned railroad right-of-way was redeveloped to create a 4.5 mile hiking/biking trail, including associated bridges. Supporting the trail are extensive recreational facilities including picnic areas, playgrounds, boat docking facilities, and handicapped accessible restrooms. The project also included major infrastructure improvements to provide potable water and sewage conveyance.

Client

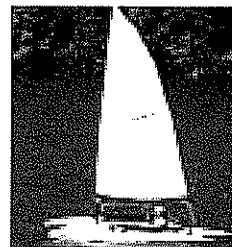
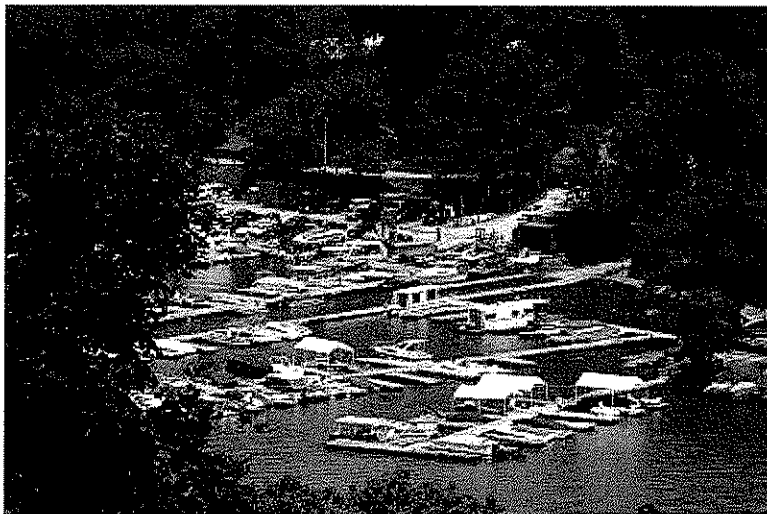
Allegheny Power System

Project Location

Monongalia County, West Virginia
and Fayette County, Pennsylvania

Baker's Role

- Planning
- Architecture
- Mechanical Engineering
- Electrical Engineering
- Structural Engineering
- Civil Engineering



Bicycle and Pedestrian Plan, Phase I

Kanawha and Putnam Counties, West Virginia

The Regional Intergovernmental Council (RIC) serving a four-county region including Boone, Clay, Kanawha and Putnam Counties in West Virginia solicited the services of Baker to perform a two-phase bicycle and pedestrian circulation study for Kanawha and Putnam Counties. Under Phase I, Baker performed a cursory inventory of existing bicycle and pedestrian facilities, identified areas with a high level of bicycle and pedestrian activity, collected existing resources including traffic volumes and comprehensive plan documents and performed a broad base public outreach effort to identify bicycle and pedestrian issues in Kanawha and Putnam Counties. During the data collection effort, Baker obtained existing resources and reviewed the existing physical conditions related to bicycle and pedestrian facilities in Kanawha and Putnam Counties. Through coordination with Public Officials, Baker identified specific activity centers and performed field investigations to determine compatibility with bicycle and pedestrian facilities. The activity centers were mapped using ArcGIS and existing facilities were illustrated.

Baker developed and administered an online survey for residents of Kanawha and Putnam Counties. The survey format was prepared with an explanation and a series of questions anticipated for completion within a 15 minute duration. The final survey was electronically transmitted (via email link) to the client, Kanawha County and Putnam County for posting on their respective websites. Baker prepared a summary of online survey results to be analyzed and compared to existing conditions and deficiencies under Phase II.



Client

Regional Intergovernmental Council
315 D Street
South Charleston, WV 25303

Chris Callahan
Planning Director
304-744-4258

Completion Date

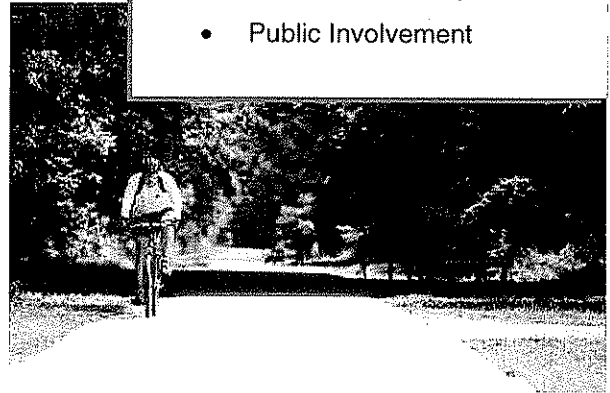
2007

Project Costs

\$28,700 (Fee)

Baker's Role

- Project Management
- Field Data Collection
- Data Analysis
- Facilities Inventory
- Public Involvement



Project Features

- Development of GIS Database
- Development and Administration of an On-Line Survey
- Identification of Specific Improvement Areas

Research and Development Facility

Institute for Scientific Research, Fairmont, West Virginia

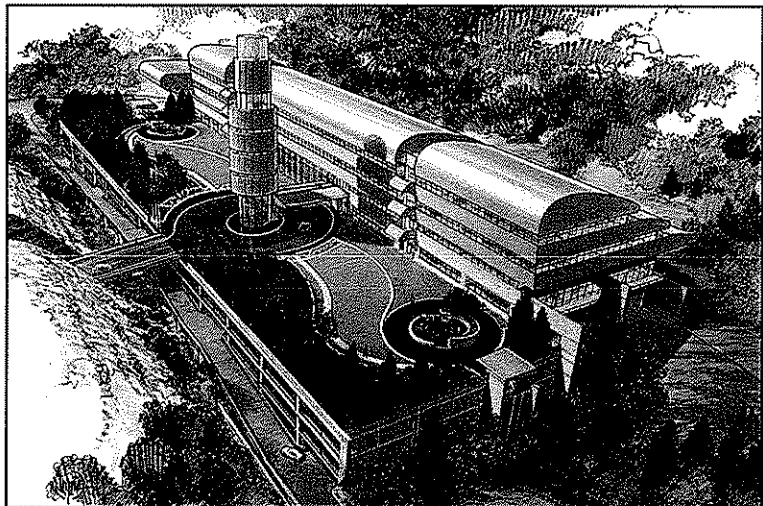
Using a design/build delivery method, a new Research and Development Facility of approximately 260,000 GSF for The Institute for Scientific Research (ISR) was constructed in Fairmont, West Virginia. The facility is the anchor project for West Virginia's High Tech Corridor on I-79, with a goal of attracting the best and brightest scientists and software engineers from around the world.

The east end of the building structure rests on bedrock, while the west end, including the slab-on-grade, was supported on caissons that extend through abandoned mines. Baker performed a subsurface investigation for the building site and of the underlying abandoned coal mine. Recommendations for a unique rock cut access road, building and retaining wall foundations, site grading, and a coal mine stabilization program were prepared. Construction consultation on the site grading and pre-split blasting program for the rock cuts was provided.

The electrical subsystem distribution and fixtures used are "plug and play" devices, providing deferred fit-out costs in unoccupied spaces while permitting maintenance staff to easily reconfigure work spaces.

The facility was outfitted with advanced technology features and amenities that included:

- World-class distance learning centers (210-person auditorium and classrooms outfitted with user-friendly audio-video systems, large screen displays, and voice/data outlets at each seat);
- World-class voice/data systems, including copper "home runs" to each workstation and fiber optics to each zone;
- Large two-story exhibit hall for the display of R&D projects;
- "Heavy" research floor, with high bay area, prototype workshop and 10-ton crane, in which flight simulator, clean room, and similar R&D project activities will be carried out;
- Fitness center and full-service kitchen/restaurant.



Client

Institute for Scientific Research, Inc.
1000 Technology Drive
Fairmont, WV 26554

Completion Date

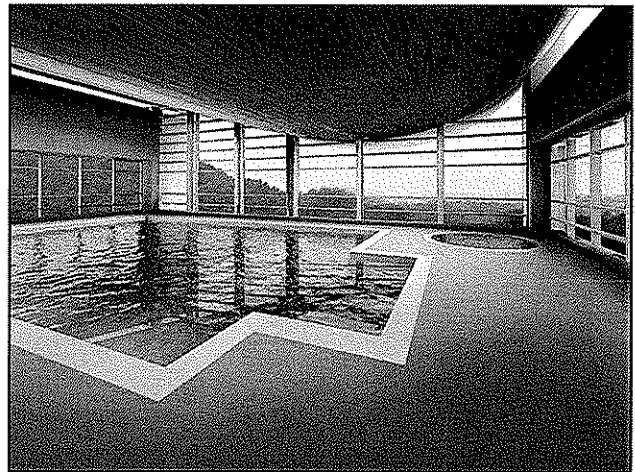
2006

Baker's Role

- Design/Build Delivery
- Geotechnical Engineering
- Architecture
- Structural Engineering
- Electrical Engineering
- Lighting Design
- Mechanical Engineering
- Plumbing Engineering
- Fire Protection Engineering
- Construction Administration

The building was designed to achieve LEED® certification for environmentally sensitive and energy-efficient design. In addition to the environmentally sensitive design features, a number of unique energy-efficient strategies were used to accomplish LEED® certification, including:

- A linear building floor plate with long elevations facing north and south to minimize peak A/C loads and admit abundant natural light. Sunscreens provide efficient shading of the south-facing glazed area of the two-story Exhibition Hall, and careful glazing selections throughout provide high insulation values and low solar heat gain coefficients;
- Indirect lighting system supplemented with task lighting to achieve superior light quality at minimal energy consumption;
- Integration of lighting control zones and HVAC zones to reduce "off-hour" energy use, providing the ability to set back comfort control and eliminate ventilation air to unoccupied zones (while providing full lighting, comfort control, and ventilation to zones actively occupied after normal office hours);
- Conference and assembly rooms were equipped with carbon monoxide sensors and override controls to assure indoor air quality while minimizing unnecessary energy usage. A heat recovery air handler with variable volume control was designed for 100% outside air delivery to the Educational Wing, and a custom pool air handler was used for temperature and humidity control of the indoor pool facility;
- 100% raised access floor on three floors of "soft" research areas and educational spaces, providing absolute flexibility in changing out furniture, voice/data cabling, and in-floor air-conditioning systems. Variable volume floor diffusers include manual override capability so individuals can adjust personal comfort within supply air control zones. The in-floor air conditioning system utilizes a true plenum pressurization design, eliminating significant under-floor ductwork (reducing construction costs and increasing flexibility) compared to other raised access floor systems;
- Intelligent kitchen exhaust hoods were selected to reduce makeup air requirements during partial or unoccupied periods;
- World-class voice/data systems, including both copper and fiber optic "home runs" to workstations and a voice-over-IP telephone system;
- A stand-by power generation system capable of maintaining power to all research areas in the event of a power disruption from the electrical grid, avoiding costly downtime - be it a few hours or days. The system will use a flywheel, rather than conventional UPS battery system, and the potential to use this large stand-by power generation system for peak electrical demand reduction was investigated.



Student Recreation Center

West Virginia University, Morgantown, WV

Through an open-end architectural and engineering services agreement, Baker provided program management services to West Virginia University to oversee the implementation of the construction program that supported their campus master plan.

Specifically, the University required a firm experienced in providing program management, construction management, cost estimating, scheduling, inspection services, programming, planning, design, construction documents, site evaluations, feasibility studies, and construction contract administration services.

Responsibilities included providing full-time on-site owner representation to monitor the work of the designers, contractors, and construction management teams for WVU's new 170,000-square-foot Student Recreation Center.

The facility provides a focal point for campus life and includes seven basketball courts, three racquetball courts, a squash court, 17,000 square foot weights/fitness area, three multi-purpose sports rooms, a three-story tall indoor rock climbing wall, large lap swimming pool, leisure pool, spa, elevated indoor jogging track, food court area, and administrative offices. The building was designed to serve the entire student population, along with University staff.



Client

West Virginia University
3040 University Avenue
Morgantown, WV 26506

Randy Hudack
Director of Physical Plant
304-293-2330

Completion Date

Estimated: 2003

Actual: 2001

Project Costs

\$35,000,000 (Construction)

\$405,745 (Fee)

Baker's Role

Program Management/Construction
Management-related Services:

- Cost Estimating
- Schedule Management
- Inspection QA/QC
- Acted as extension of staff for the university
- Budget Monitoring
- Project Coordination
- Procurement Support
- Pay Application Approvals
- Move-in Coordination
- Closeout Support
- Change Order Review and Recommendations

Disney Development Company

Program and Construction Management

The Disney Development Company has earned an international reputation for attractive, high quality development, and Baker's partnership with Disney has been instrumental in establishing this reputation. Since 1986, Baker has provided program and construction management services for approximately \$300 million in resort infrastructure at Disney's 27,000-acre site in Central Florida, including entertainment venues, graphics, support buildings, manmade lakes and islands, landscape features, and site infrastructure. The EPCOT Center, French Pavilion, English Pavilion, and the area known as the Western Development all represent Baker's work for the company. Baker's scope of services includes preparation of architectural and engineering work packages, coordination and management of architects and engineers working on the site, permitting, cost estimating, value engineering, scheduling, cash and manpower projections, construction procurement, environmental management, maintenance of traffic, and on-site management and coordination of construction.

Client

Disney Development Company

Project Location

Lake Buena Vista, Florida

Baker's Role

- Program Management
- Construction Management



Destination Broadwater

World-Class Family Resort

This 400-acre world class entertainment and family resort is located along a half mile of waterfront. The project consists of both family-and leisure-type attractions divided into waterside and landside attractions. "Landside" development consists of 11 hotels, an 18-hole championship golf course, upscale retail stores and restaurants, an amusement and waterpark facility, and monorail system. Waterside attractions consist of a 500-slip marina, recreational beaches, six floating casinos, and a World Harbor area that includes a shopping promenade and thematic attraction. To counteract the potential loss of aquatic habitat that could result from construction of the project, a major mitigation plan was developed to restore and replace beach and significant coastal wetlands.

Client

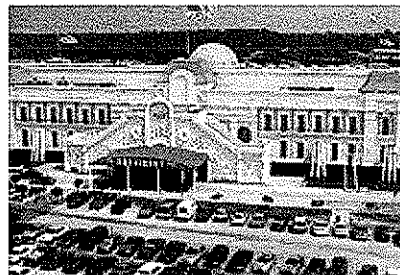
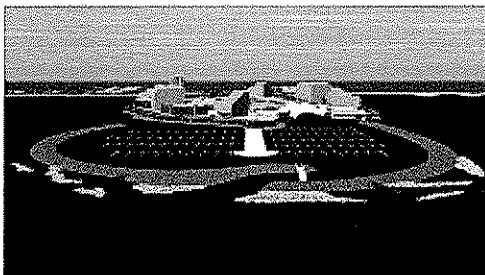
President Casinos, Inc.

Project Location

Biloxi, Mississippi

Baker's Role

- Permitting
- Site Development
- Coastal Engineering
- Environmental Mitigation
- Development Consulting



Indian River Inlet Marina Master Plan

Indian River Inlet, Delaware

The proposed mixed-used development was public-private partnership between the State of Delaware and a private developer. Surrounded by water on three sides, the site offers prime waterfront recreational and commercial usages. The anchor for the project was 408-slip marina with overnight accommodations. The marina includes a marine operations building, marine service and dry boat store, public boat launch, eco-cabins, beach cabins, recreational vehicle overnight spaces, and a day-use parking area. Supporting the marina are extensive recreational uses, including a fishing pier, nature walk, and facilities to support water-based activities such as kayaking and environmental tours. A promenade spanning a large portion of the site offers expansive views of the water.



Client

Delaware Department of Natural Resources
Division of Parks and Recreation, 89 Kings Highway
Planning Preservation and Development Section
Dover, DE 19903

Mark Chura
Manager
302-739-5285

Completion Date

Estimated: 2002
Actual: 2002

Project Costs

\$19,000,000 (Construction)
\$109,985 (Fee)

Baker's Role

- Planning
- Architecture
- Landscape Architecture
- Civil Engineering



Huntington Park

City of Newport News

A 50-acre site along the James River waterfront was redeveloped to create a new City park. Although the site offered an appealing natural setting, extensive improvements were needed before it could be utilized as a park. An existing 4.5 acre lake area was environmentally cleaned, filled and surcharged. A bluff along the riverfront was graded, and approximately 1,000 feet of shoreline stabilization treatment provided. Approximately 15,000 cubic yards of beach nourishment was provided to enhance the shoreline. Site infrastructure including new roadways, parking lots, and utilities was provided. The resulting new park features floating docks, boat ramps, sandy beach for public use, recreational facilities, a snack bar, trails, and landscaping.

Client

City of Newport News, Virginia

Project Location

Newport News, Virginia

Baker's Role

- Planning
- Architecture
- Interior Design
- Mechanical Engineering
- Electrical Engineering
- Structural Engineering
- Civil Engineering
- Environmental Engineering



Part 7 – Resumes

Russell E. Hall, P.E., P.S.

Charleston Office Manager

General Qualifications

Mr. Hall is an experienced transportation engineer who has been involved in numerous bridge and highway design projects in West Virginia for over 21 years. His project management responsibilities involve overseeing staff from project inception through completion, and ensuring that the clients' needs and requirements are met.

He has over seven years of experience in office management as well. His office management responsibilities include financial oversight and accountability for a staff of over 45 engineers, scientists, and administrative personnel for Baker's Charleston office. His major strengths include organizing and managing a project team, quality control and quality assurance, and problem resolution. He provides overall direction and maintains direct communications with all clients.

Mr. Hall is very proud of the fact that he has been able to spend his entire career in West Virginia working to address West Virginia's transportation needs.

Experience

2004 to Present, Michael Baker Jr., Inc. – *Office Manager* for the Charleston, West Virginia office.

1998 to 2004, Neff, Longest, and Beam, L.L.C. – *Office Manager* for the Charleston, West Virginia office. Responsibilities included the duties of both project manager and office manager. The following is a list of representative projects:

- **WV 9, Charles Town Bypass to Virginia State Line, Jefferson County** – The project provided for the preparation of construction and right of way plans for an approximately five mile section of 4-lane highway. This project included the design of two interchanges, four bridges, and multiple intersections and access roads. This project was divided into seven construction contracts.
- **Fetterman Truss Bridge, Taylor County** – The project provided for the preparation of construction and right of way plans for the replacement of the existing Fetterman Bridge in Grafton, West Virginia. This project included the design of a multiple span curved bridge over the Tygart River and a 200,000 gallon CSO tank.
- **Corridor H, Hardy County** – The project provided for the preparation of construction and right of way plans for a two mile section of 4-lane divided highway. This project included the design of one interchange, two bridges, and multiple intersections and access roads. This project was divided into three construction contracts.
- **Wellington Bridge, Roane County** – The project provided for the preparation of construction and right-of-way plans for the replacement of the existing Wellington Bridge over Spring Creek.

Years with Baker: 3

Years with Other Firms: 18

Education

B.S., 1985, Civil Engineering, West Virginia Institute of Technology

Professional Registrations

Professional Engineer, West Virginia, 1990, 10947

Professional Surveyor, West Virginia, 1996, 1878

Patrick W. Fogarty, P.E., P.S.

Civil Services Group Manager

General Qualifications

Mr. Fogarty is an asset to the Michael Baker Jr., Inc. team with over 21 years of project management experience. He is responsible for technical and management aspects of civil design and surveying projects within the office. Mr. Fogarty has designed and managed projects in numerous disciplines including civil, structural and transportation engineering, site development, planning and surveying. These projects have included retail/commercial site preparation, airports, streets/highways, bridges, parking lots, buildings, retaining walls/foundations, sanitary systems and structures, as well as boundary and topographic and photogrammetric surveys. Duties included field surveying, drawings and specification preparation, design, design drafting, construction inspection, quality control testing, shop drawing review, project management, contract administration and report preparation. Management duties include financial planning, management and staff utilization for two departments, human resource planning, marketing, and strategic planning for the 250 member firm as a member of the board of directors.

Experience

On-Call Engineering/Architectural Services, Yeager Airport (CRW), Charleston, West Virginia. *Central West Virginia Regional Airport Authority.* Project Manager. Responsible for management planning and lead design for miscellaneous assignments. Additionally, provided engineering consultation on a current construction project as needed. Baker provided multi-discipline, on-call services to the Central West Virginia Regional Airport Authority (CWVRAA), which owns and operates Yeager Airport (CRW). Baker provided a full range of services to CWVRAA on an "On-Call/As-Needed" basis, including architecture, civil, structural, mechanical, electrical and environmental engineering, general engineering administration, surveying, and construction management.

Flood Protection Options Report-Bonham Elementary School, Kanawha County, West Virginia.

West Virginia Division of Homeland Security and Emergency Management. Project Manager. Responsible for the development of a report listing potential flood protection options for the facility. Baker was retained by the West Virginia Division of Homeland Security and Emergency Management to prepare a report to address flood protection options for Bonham Elementary School in Kanawha County, West Virginia.

Years with Baker: 2

Years with Other Firms: 19

Education

B.S. 1985, Civil Engineering, West Virginia University Institute of Technology

Diploma 1993, Surveying and Mapping, International Correspondence Schools

Registrations

Professional Engineer, West Virginia

Professional Engineer, Kentucky

Professional Engineer, Virginia

Professional Engineer, Pennsylvania

Professional Engineer, Maryland

Professional Engineer, Ohio

Professional Surveyor, West Virginia, Kentucky and Ohio

Certifications

Laboratory Procedures, FAA 1992

Construction Document Technologist, CSI 1996

Roadway Worker for Rail Line Sites, CSX 2001

40 Hour HAZWOPER, OSHA 29 CFR 1910.120, OSHA 2001

Technician, PCC, Asphalt, Aggregate, Compaction, WVDOT 1991

Municipal Planning and Design, Various Locations, State of West Virginia

Performed numerous assignments as Lead Designer and Project Manager for various municipalities over the past 20 years, including: Planning, and Bituminous and Concrete Pavement Design and Rehabilitation, Sidewalk Design, Storm Drainage Design and Stormwater Permitting, Wetlands Delineation and Mitigation, Equipment Specifications, Sanitary Sewage Collection and Potable Water Distribution Systems, Parking Lot Design, Security Lighting, Environmental Site Assessments, Pre-Bid Meetings, Bid Evaluation and Tabulation, Grant Applications, Construction Management, Pre-Construction Meetings, Construction Phasing Plans, Outlay Requests and Project Close-Out Packages.

Notable clients included the following:

Town of Poca

Town of Moorefield

City of Buckhannon

City of St. Albans

Town of Hambleton

City of Williamson

Town of Mason

Town of West Milford

City of Bridgeport

Professional Affiliations

American Society of Civil Engineers

Society of American Military Engineers

International Right of Way Association

Construction Specifications Institute

American Planning Association

American Water Works Association

West Virginia Society of Professional Surveyors

Kentucky Association of Professional Surveyors

West Virginia Airport Managers Association

Previous Work History

Triad Engineering, Inc., Vice President/Senior Engineer/Civil and Survey Manager, 1996-2005

Chapman Technical Group, Vice President Transportation Engineering, 1991-1996

Chapman Technical Group, Project Engineer, 1986-1991

Steel Service Company, Senior Steel Detailer, 1985-1986

Ron L. Bolen, AIA

Senior Architect

General Qualifications

Mr. Bolen brings over 30 years of design and project coordination experience to the project. He believes in listening to the client's needs and bringing those desires to reality in a distinctive, functional and state of the art facility – on time and within budget. Truly innovative designs are based on a well-articulated program developed in a close and continuing interaction between the client and the design team.

While at Baker, Mr. Bolen has focused most of his time on design and coordination with the client while maintaining a close relationship with the design team. Increasingly, Mr. Bolen's facilities have become the result of collaborative problem solving with other design professionals and our clients.

Years with Baker: <1
Years with Other Firms: 35+

Education

- B.S. Architectural Design, Potomac Community College / West Virginia University, 1980

Registrations

- Registered Architect, No. 3135, West Virginia, 1999

Experience

A/E Services for the Charleston Armory Improvements, West Virginia Army National Guard, Division of Engineering and Facilities, Charleston, West Virginia. *State of West Virginia, Division of Engineering and Facilities.* Project Architect. Responsible for design and document quality oversight. The Facilities Management Officer (FMO) for the State of West Virginia, Division of Engineering and Facilities (DEF), West Virginia Army National Guard (WVARNG) selected Baker for a lump sum/fixed fee contract for architectural and engineering services. The State Army National Guard Headquarters in Charleston, West Virginia was originally constructed in the early 1960's. Over the years, there have been numerous upgrades to the facility. Baker was selected by the Division of Engineering and Facilities to provide complete design and construction administration services for architectural improvements of the first floor of the Office of the Adjutant General (TAG), and further provide MEP and HVAC design improvements for the entire TAG Wing, Headquarters Building, and Armory/Drill Floor. The Owner desired the modernization of approximately 55,000 square feet of existing outdated heating, ventilation, and air conditioning equipment. Total project elements included new acoustical ceilings, flooring, energy-saving light fixtures, duplex outlets, communications jacks, alterations to the existing floor plan, exterior door replacements, new interior doors and hardware, new wall finishes, asbestos removal, and a new 4-pipe environmental control system. Baker worked closely with the client during the planning phase to define a project scope that would upgrade the existing facility in a fashion consistent with previous renovations and within a limited budget.

Non-Baker Project Experience

A/E Services for the Cliffside Amphitheatre Improvements, Grandview State Park, National Park Service, Beckley, Raleigh County, West Virginia. *U.S. Department of the Interior, National Park Service.* Project Architect. Mr. Bolen was assigned as Project Job Captain through Pre-Design and all phases of Document Preparation, Consultant Coordination, and Client Relations. The scope for a renovation to the existing facility was to design the stage area with a new orchestra pit and stage. The project included a tunnel to the off-stage area for access into the pit without being seen by the audience.

R. Todd Schoolcraft, PLA, ASLA

Landscape Architect

General Qualifications

Mr. Schoolcraft has over 17 years of experience in the fields of landscape architecture and land planning, with over 25 years of experience in the building and construction industry. Mr. Schoolcraft has extensive experience managing complex projects and leading multi-disciplined teams of professionals resulting in the successful delivery of numerous quality projects on-time and on-budget. Major areas of specialty include commercial development, military installation design, land planning, public development, site planning and design, park and recreation design, trails and greenways, streetscape design and urban planning, and residential subdivision layout. Mr. Schoolcraft is a retired U.S. Army Officer, holding the rank of Major, with over 23 years of time in service in the U.S. armed forces. In the last years of service, he held the position of Operations Officer with the newly formed Chemical, Biological, Radiological, Nuclear or High Yield Explosive Enhanced Response Force Package Team (CERFP Team) with the West Virginia Army National Guard. Prior to this, he was a combat engineer with the Design Section of the 111th Engineer Group, West Virginia Army National Guard. The 111th Engineer Group served in the Middle East in support of Operation Iraqi Freedom and Operation Enduring Freedom. During that time, Mr. Schoolcraft was awarded the Bronze Star Medal for meritorious service associated with a multitude of engineering and architectural projects in Kuwait and Iraq. Mr. Schoolcraft has been appointed to the West Virginia State Board of Landscape Architects by Governor Joe Manchin, and currently serves as Secretary of the Board.

Experience

Parsons City-wide Comprehensive Parks and Recreation Master Plan, Parsons, West Virginia. *Parsons Parks Board.* Project Manager. Responsible for master planning design and document quality oversight. Baker is preparing a Master Plan of improvements and recommendations for existing and proposed parks and recreation amenities for the city limits of Parsons, Tucker County, West Virginia. The City of Parsons, over time, has acquired many parcels of FEMA-condemned properties due to the flood prone topography of Parsons. In an effort to properly manage the existing facilities, yet prepare for the future of the additional facilities scattered throughout the community, this master planning effort was begun. Through a series of public meetings and stakeholder meetings, a final plan will be realized with recommendations for ball fields, hiking and biking trails, a recreation center, miniature golf course, additional play structures, picnic facilities, ADA-compliant fishing access, interpretive signage, and landscaping improvements for the existing and new park areas.

Years with Baker: 1

Years with Other Firms: 16

Education

- B.S. Landscape Architecture, West Virginia University, 1991
- Safe Spaces: ASLA Security Design Symposium, Chicago, IL, 2004
- AQUA Conference Educational Sessions, Las Vegas, NV, 2005
- CERFP Team Training, WV Army National Guard, 2006

Registrations

- PLA, West Virginia, 1995
- RLA, North Carolina, 2008
- PLA, Ohio, 2002
- CLARB Certified, 2001

Professional Affiliations

- WV State Board of Landscape Architects
- American Society of Landscape Architects
- WV Chapter – American Society of Landscape Architects
- Associate Member – AIA West Virginia
- Society of Military Engineers
- National Guard Association
- WV Rails-to-Trails Society
- Elkland Pool Board

A/E Services for the Office of the Adjutant General, West Virginia Army National Guard, Division of Engineering and Facilities, Charleston, West Virginia. *State of West Virginia, Division of Engineering and Facilities.* Project Manager. Responsible for design and document quality oversight. The Facilities Management Officer (FMO) for the State of West Virginia, Division of Engineering and Facilities (DEF), West Virginia Army National Guard (WVARNG) selected Baker for a lump sum/fixed fee contract for architectural and engineering services. The State Army National Guard Headquarters in Charleston, West Virginia was originally constructed in the early 1960's. Over the years, there have been numerous upgrades to the facility. Baker was selected by the Division of Engineering and Facilities to provide complete design and construction administration services for the renovation of the first floor of the entire wing of the Office of the Adjutant General (TAG). The Owner requested the need for modernization of approximately 12,000 square feet of existing outdated office space. Project elements included new acoustical ceilings, flooring, energy-saving light fixtures, duplex outlets, communications jacks, alterations to the existing floor plan, exterior door replacements, new interior doors and hardware, new wall finishes and asbestos removal. Baker worked closely with the client during the planning phase to define a project scope that would upgrade the existing facility in a fashion consistent with previous renovations and within a limited budget.

Non-Baker Project Experience

Little Beaver State Park Campgrounds, Beaver, Raleigh County, West Virginia. *West Virginia Division of Natural Resources, Parks & Recreation.* Project Landscape Architect. Responsible for field inventory and analysis, detailed design, and construction document preparation. Developed design and construction documents for the development of new campgrounds for Little Beaver State Park. Campgrounds included nearly 80 new pull-thru and spur campsites, two bath house facilities, check-in station, sewage dump station, parks roads, sanitary sewer, water, electric and telephone. Each deluxe campsite was to be equipped with a sewer hookup, water, electric, telephone, cable services, fire ring, picnic table and landscaping. The bath houses were to include four shower units and sinks each for male and female sides, four toilets for the ladies, and two toilets and two urinals for the men.

J.G. Bradley Campgrounds, Widen, Clay County, West Virginia. *Central Appalachia Empowerment Zone.* Project Manager. Responsible for field inventory and analysis, conceptual design, cost estimating, and grant preparation. Developed concept design and master plan for the development of new campground facility near the Town of Clay, West Virginia. Campgrounds included 16 new pull-thru and spur campsites, 10 rustic cabins, bath house, future lodge and restaurant, check-in station and supply store, sewage dump station, parks roads and parking, rail-trail, scenic train excursion, interpretive signs and landscaping.

Cedar Creek State Park Campground Expansion, near Glenville, West Virginia. *West Virginia Division of Natural Resources, Parks & Recreation.* Project Landscape Architect. Responsible for field inventory and analysis, base map preparation, conceptual design, and cost estimating. Developed concept design and master plan for the expansion of new campsites at Cedar Creek State Park, Gilmer County, West Virginia. Improvements included new pull-thru and spur campsites, park roads and parking, utilities, infrastructure, and landscaping.

Hinton Islands City Park Master Plan, Hinton, West Virginia. *City of Hinton.* Project Manager. Responsible for conceptual design and master plan preparation. Prepared a Master Plan for the development of Belle Point, City Island, and Cantrell Island at the confluence of the Greenbrier and New Rivers, Summers County, West Virginia. A major asset for the City of Hinton was the New River which is joined by the Greenbrier River just below the Bluestone Dam at Belle Point. The City of Hinton and private land owner Richie Cantrell, in an effort to strengthen and improve the quality of life for residents and visitors, initiated a master planning effort for Belle Point and the islands just downstream on the New River. The final master plan made recommendations for access improvements, handicap fishing piers, parking areas, restroom facilities, vehicular bridges, naturalized areas, nature trails, boat launch facilities,

Various Military Installation Improvements, Camp Arifjan, Kuwait. *Directorate of Public Works, Post Engineer.* Project Manager. While on deployment in the Middle East with the 111th Engineer Group, West Virginia Army National Guard (WVARNG) was tasked to perform various improvements to Camp Arifjan through the Directorate of Public Works (DPW) and the Post Engineer. Projects included the Camden Yard Engineer Troop Wash Point; DPW Morale, Welfare and Recreation (MWR) Restroom Facility; DPW Third Country Nationals (TCN) Restroom Additions; and many other improvements.

Offices Held

- Current Secretary, WV State Board of Landscape Architects
- Past Treasurer, WV State Board of Landscape Architects
- Current Secretary, WV Chapter American Society of Landscape Architects
- Past President, WV Chapter American Society of Landscape Architects
- Past Treasurer, WV Chapter American Society of Landscape Architects
- Past Secretary, WV Chapter American Society of Landscape Architects

Honors and Awards

- WV Chapter – American Society of Landscape Architects; 2005 Merit Award – Russell Residence House and Site Improvements
- United States Army; 2003 Bronze Star – Operation Iraqi Freedom
- American Society of Landscape Architects; 1999 Medallion Award – Charleston Village District Streetscapes
- WV Chapter – American Society of Landscape Architects; 1999 Merit Award – Tamarack: The Best of West Virginia
- WV Chapter – American Society of Landscape Architects; 1995 Honor Award – NorthGate Business Park

Jack L. Justice, P.E., P.S.

QA/QC Manager

General Qualifications

Mr. Justice has over 48 years of structural engineering experience. His bridge experience includes the review of numerous bridges in the states of Pennsylvania, Maryland, Delaware and West Virginia. These include rolled beam, straight and kinked bridges, straight and curved plate girder bridges, steel trusses and steel and concrete cable stayed bridges. He was also involved in cast-in-place and precast segmental bridges and prestressed and post tensioned designs. He administered the research program for approximately 14 years in the federal sector, as well as the bridge program.

Years with Baker: 2
Years with Other Firms: 46

Education

B.S.C.E., 1960, Civil Engineering,
West Virginia University

Graduate Studies, 0, Structures,
Penn State University

Licenses/Certifications

Professional Engineer, West
Virginia, 1963, 4385

Professional Surveyor, West
Virginia, 1995, 1444

Experience

Blennerhassett Island Bridge, Appalachian Corridor D, Wood County, West Virginia. *West Virginia Department of Transportation, Division of Highways.* Responsible for the review of all bridge plans and contract related documents. Baker is the prime consultant on this contract that encompasses a bridge type study and final design. Baker will provide project management, long-span bridge and approach span bridge design, environmental permitting, 3D renderings, and public involvement services with a multitude of specialty subconsultants and one nationally prominent long-span bridge subconsultant.

Baker's services also include continuous conventional/low mast lighting design for the 4,000-foot-long bridge and a river navigation lighting system for twin river channels.

Appalachian Corridor H, Section 6, Hardy County, West Virginia. *West Virginia Department of Transportation, Division of Highways.* Responsible for the review of bridge plans and the development of special provisions. This project involved the study, design and final construction plan development for a new roadway beginning 0.6 miles southeast of Hardy County 220/8 and continuing eastward 6.6 miles to an interchange with WV 55. This project included an interchange with the Moorefield Bypass, a ramp connector road south of the corridor west from the possible future Moorefield Bypass to a proposed reconstruction of US 220, a closure study of the floodwall on the north end of Moorefield near this Section 6 proposed highway location, six bridges and completion of an interchange (two ramps) with WV 55 on the east end of the project.

US 35/I-64 Interchange, Putnam County, West Virginia. *West Virginia Department of Transportation, Division of Highways.* Structural Engineer. Responsible for review of various structural details including thermal control plans. Michael Baker Jr., Inc. was selected by the West Virginia Department of Transportation, Division of Highways to review shop drawings and contractor calculations for the U.S. Route 35 Interchange. Baker was also selected as the prime bridge designer for this project. The interchange will include two new bridge structures consisting of a mainline crossing and a Ramp flyover bridges.

Various Bridges Updating the West Virginia Turnpike, State of West Virginia. *West Virginia Department of Transportation, Division of Highways.* Division Structures & Research Engineer. Responsible for the review of all bridge plans and contract-related documents.

Various Bridges on Appalachian Corridor H, Various Counties, West Virginia. *West Virginia Department of Transportation, Division of Highways.* Division Structures & Research Engineer. Responsible for the review of all bridge plans and contract-related documents.

Various Bridges on Appalachian Corridor D, Various Counties, West Virginia. *West Virginia Department of Transportation, Division of Highways.* Division Structures & Research Engineer. Responsible for the review of all bridge plans and contract-related documents.

Various Bridges on Corridor L, West Virginia Department of Transportation, Division of Highways. Division Structures & Research Engineer. Responsible for the review of all bridge plans and contract-related documents.

Various Bridges on Interstate 64, Various Counties, West Virginia. *West Virginia Department of Transportation, Division of Highways.* Division Structures & Research Engineer. Responsible for the review of all bridge plans and contract-related documents.

Cheat Lake Bridge, Monongalia County, West Virginia. *West Virginia Department of Transportation, Division of Highways.* Division Bridge Engineer. Responsible for the review of all bridge plans and contract-related documents.

Various Bridges on Interstate 68, Northern West Virginia. *West Virginia Department of Transportation, Division of Highways.* Division Bridge Engineer. Responsible for the review of all bridge plans and contract-related documents.

Various Bridges on Mon-Fayette Expressway, Northern, West Virginia. *West Virginia Department of Transportation, Division of Highways.* Division Structures & Research Engineer. Responsible for the review of all bridge plans and contract-related documents.

Various Bridges on US 35, Putnam County, West Virginia. *West Virginia Department of Transportation, Division of Highways.* Division Structures & Research Engineer. Responsible for the review of all bridge plans and contract-related documents.

Lower Buffalo Bridge, Putnam County, West Virginia. *West Virginia Department of Transportation, Division of Highways.* Division Structures & Research Engineer. Responsible for the review of all bridge plans and contract-related documents.

James Rumsey Bridge, Jefferson County, West Virginia. *West Virginia Department of Transportation, Division of Highways.* Division Structures & Research Engineer. Responsible for the review of all bridge plans and contract-related documents. The project included the analysis and plan preparation for the deck replacement of the truss and maintenance of traffic.

Presentations

Justice, Jack L., The Use of the Axial Load Monitor to Determine Loads in Trusses and Cables, Charleston, West Virginia; Pittsburgh, Pennsylvania; Baltimore, Maryland; Richmond, Virginia; Wilmington, Delaware

Terry L. Myers

Water / Sewer Design Technician

General Qualifications

Mr. Myers is currently employed as a Business Development Professional at the Charleston, West Virginia office of Baker's South Region. Mr. Myers has over 29 years of diverse experience, primarily in the sanitary engineering field that includes design, project management, client management, surveying, construction inspection and field testing for numerous assignments with municipalities, private developers and water/sewer districts. Mr. Myers has particular expertise in preliminary and conceptual design and the development of funding packages for potable water and sanitary/storm sewer projects. Mr. Myers served as the General Manager of Lincoln Public Service District, Lincoln County, West Virginia where he successfully acquired funding from various sources toward the development of over \$5,000,000 of improvements and expansions for the potable water system in the county. Mr. Myers has also served as resident inspector of major construction projects ranging from \$1 million to \$50 million in total cost. In this role, he has been responsible for field engineering, supervision of inspection teams, coordination of quality control and quality assurance testing and administration of multiple construction contracts. Mr. Myers has a thorough understanding of regulatory and funding agency requirements as well as construction practices which assures adherence to budget and schedule.

Years with Baker: <1

Years with Other Firms: 29

Education

Coursework, Engineering, Glendale Community College, Glendale, Arizona

Experience

Non-Baker Project Experience

Site Development for Southridge Industrial Park and Shopping Plaza, Kanawha County, West Virginia. *BIDCO.* Project Manager. Responsible for the coordination of surveys, design engineering, and geotechnical subconsultant toward the development of a commercial and industrial business park along U.S. 119 (Appalachian Corridor G) south of Charleston, West Virginia. Elements of the project included:

- Approximately 3 miles of access road and the associated storm drainage,
- New PVC and DIP (8-inch to 12-inch) waterlines, hydrants and appurtenances,
- 16,000 l.f. of 12-inch PVC gravity sewer pipe, manholes, cleanouts, and appurtenances,
- 16,000 l.f. of concrete duct bank for power, telephone and television cable.

County-Wide Water and Sewer Studies, Various Counties, West Virginia. *Various County Commissions in West Virginia.* Project Manager. Responsible for the development of a comprehensive county-wide report listing existing and potential future water and/or sewer facilities in the following counties:

- Cabell County
- Lincoln County
- Mingo County
- Wayne County

gravity sewer pipe (13,000 l.f. of 8-inch, and 2,400 l.f. of 6-inch diameter PVC pipe), and 4 grinder pump stations.

Wastewater Collection System, Braxton County, West Virginia. *Town of Flatwoods.* Project Manager. Responsible for the development of funding packages (USDA HUD Small Cities Block Grant and Farmers Home Loan) for a new sewer collection system for the town. Also served as overall project/client manager.

Wastewater Treatment Plant Upgrade, Calhoun County, West Virginia. *Town of Grantsville.* Project Manager. Responsible for the development of funding packages (USDA HUD Small Cities Block Grant) for an upgrade to five pump stations and the associated force mains for the town. Also served as overall project/client manager.

Wastewater Treatment and Collection System Upgrade, Logan County, West Virginia. *Logan Public Service District.* Project Manager. Responsible for the coordination of surveys and design engineering toward the development of a \$14 million wastewater treatment plant including numerous grinder pump stations, duplex pump stations and extensive collection line installation.

System-Wide Wastewater Study, Cabell County, West Virginia. *City of Kenova.* Project Manager. Responsible for the development of a comprehensive system-wide report listing existing and potential future wastewater collection facilities for the town.

Wastewater Collection System, Kanawha County, West Virginia. *Charleston Sanitary Board.* Project Manager responsible for design team and construction inspection for a gravity line to Trojan Steel. Project included 8-inch gravity pipe and one grinder pump station.

Wastewater Interceptor Pipeline, Maricopa County, Arizona. *City of Phoenix Department of Public works. Southern Avenue Interceptor.* Resident in Charge responsible for quality control inspection for a 72-inch reinforced concrete pipeline, project also included a 3,000 foot long, 65 foot deep twin 54-inch/48-inch siphon crossing under the Salt River. Project had two large siphon structures and one main junction structure with one 72-inch, two 84-inch and two 90-inch lines. River crossing pipe was double gasket pre-stressed reinforced concrete pipe with a 16 gage steel cylinder.

Wastewater Interceptor Pipeline, Maricopa County, Arizona. *City of Mesa Department of Public works. Haden Road Interceptor Project.* Resident in Charge responsible for quality control inspection for a three mile 42-inch reinforced concrete PVC T-Lock lined pipe line. Project included a 1,200 foot long, 35 feet deep twin 21-inch/18-inch siphon crossing under the Salt River. River crossing included a 48-inch steel cylinder reinforced concrete water pipe line and a 12-inch steel gas pipeline, all pipelines were in a joint trench.

Wastewater Interceptor Pipeline, Maricopa County, Arizona. *City of Mesa Department of Public works. Dodson Road Project.* Resident in Charge responsible for quality control inspection for a two mile 36-inch reinforced concrete PVC T-Lock lined pipe line.

Wastewater Interceptor Pipeline, Maricopa County, Arizona. *City of Mesa Department of Public works. McDowell Road Project.* Resident in Charge responsible for quality control inspection for a two mile 60-inch reinforced concrete PVC T-Lock lined pipe line.

Northeast Industrial Assessment District, Ventura County, California. *City of Oxnard Department of Public Works.* Sanitary Sewer collection system for a 1,800 acre industrial park. Pipe ranged in size from 8-inch up to 42-inch reinforced concrete pipe.

Wastewater Treatment Plant and Collection System Improvements, Braxton County, West Virginia. *Town of Burnsville.* As part of the design team assisted the town in securing a HUD Small Cities Block Grant and USDA Rural Development Loan/Grant funding. The **\$2.5 million** dollar project consisted of upgrades to

Odd/Westview Waterline Extension, Raleigh County, West Virginia. *Raleigh County Commission.* Project Manager. Responsible for the coordination of surveys, design engineering, and construction activities (progress meetings, shop drawing review, and pay estimates) toward the development of a **\$2.5 million** water distribution system extension. The project included 8 miles of 6-inch and 8-inch water lines, one new water storage tank, two PRV structures and one booster pump station.

14- Mile Waterline Extension, Lincoln County, West Virginia. *Branchland-Midkiff Public Service District.* Project Manager. Responsible for the coordination of surveys, design engineering, and construction activities (progress meetings, shop drawing review, and pay estimates) toward the development of a **\$4.8 million** water distribution system extension for approximately 232 new customers, including two water storage tanks, upgrade of one existing booster station and one new booster pump station. Project included the upgrading of 22,000 feet of existing 4-inch pipe to 8-inch pipe. Project was funded with a loan/grant from USDA Rural Development, and grants from the Wayne County Commission, Lincoln County Commission and Rock Spring Coal Company.

4- Mile Waterline Extension, Lincoln County, West Virginia. *Branchland-Midkiff Public Service District.* Project Manager. Responsible for the coordination of surveys, design engineering, and construction activities (progress meetings, shop drawing review, and pay estimates) toward the development of a **\$2.6 million** water distribution system extension for approximately 300 new customers, including one water storage tank, and one new booster pump station. **This project was the Pilot Water Project for the West Virginia Infrastructure Jobs and Development Council when the council was first started.**

Alkol Phase1 Waterline Extension, Lincoln County, West Virginia. *Lincoln Public Service District.* Project Manager. Responsible for all aspects of the project from design to securing project funding. Project consists of over 10 miles of 2-inch to 8-inch waterline, two 100,000 gallon water storage tanks, and one booster pump station and will serve over 300 families.

Water Treatment Plant and Booster Pump Stations Upgrade, Lincoln County, West Virginia. *Lincoln Public Service District.* Project included replacement of the raw water pumps, high service pumps, Flocc equipment, new SCADA system for the entire distribution system, new filter media, and a new dump truck and 580 backhoe. The **\$700,000** project was funded with a West Virginia Water Development Authority loan.

Birch River Waterline Extension, Nicholas County, West Virginia, *Birch River Public Service District.* Project Manager. Responsible for coordination of surveys, design engineering, and construction activities (progress meetings, shop drawing review, and pay estimates) toward the development of a **\$2.6 million** water distribution system extension for approximately 300 new customers, including one water storage tank, and one booster pump station. Project was funded with an ARC Grant and a Loan/Grant combination from USDA RD.

Preistly Ridge Waterline Extension, Lincoln County, West Virginia. *Lincoln County Public Service District.* Project Manager. Responsible for the coordination of surveys, design engineering, and construction activities (progress meetings, shop drawing review, and pay estimates) toward the development of a **\$1.6 million** water distribution system extension across Corridor "G" for approximately 50 new customers, including one 100,000 gallon water storage tank, and one new booster pump station.

Town of Delbarton Water Distribution System Improvements, Mingo County, West Virginia, *Town of Delbarton.* Project Manager. Responsible for the coordination of surveys, design engineering, and construction activities (progress meetings, shop drawing review, and pay estimates) toward the development of a **\$1.5 million** water distribution system replacement project for approximately 100% of the existing system. Funding was a 0% loan for 40 years with the WVJDC and Small Cities Block Grant.

Moatsville Waterline Extension, Barbour County, West Virginia. *Chestnut Ridge Public Service District*

Continuing Education/Training

Class I Water Treatment Plant Operators Course

Microsoft Word and Excel

Corel Word Perfect

Professional Affiliations

West Virginia Rural Water Association

Municipal League

Association of Counties

Previous Work History

Triad Engineering, Inc., Project Manager, 2003 – 2008

Lincoln Public Service District, General Manager, 2000 – 2003

HMB Engineering, Project Manager, 1996 – 2000

Thrasher Engineering, Inc., Project Manager, 1995 – 1996

Dunn Engineering, Inc., Vice President/Project Manager, 1990 – 1995

Boyle Engineering Corporation, Ventura California, Resident-in-Charge, 1988-1990

Boyle Engineering Corporation, Phoenix Arizona, Chief Inspector/Surveyor, 1983-1988

Amwest Engineering, Inc., Phoenix Arizona, Survey Party Chief, 1979-1983

Laura L. Cox, PLA, ASLA

Landscape Architect

General Qualifications

Ms. Cox is a Registered Landscape Architect with over 26 years of experience in the fields of landscape architecture and land planning. She has knowledge of all phases of design from site analysis and conceptual planning through construction documentation, permitting and administration. Her design experience includes large scale site preparation and grading, drainage analysis, storm water conveyance and detention, and utility and infrastructure design.

Ms. Cox has an extensive background in site and land use planning for counties and municipalities including, feasibility studies, review and evaluation of preliminary and final subdivision plans, special exceptions, rezoning applications, yield studies, special use permits and client representation at public hearings and meetings with civic groups.

Experience

Parsons City-wide Comprehensive Parks and Recreation Master Plan, Parsons, West Virginia. *Parsons Parks Board.*

Project Planner. Responsible for assisting in the master planning design. Baker is preparing a Master Plan of improvements and recommendations for existing and proposed parks and recreation amenities for the city limits of Parsons, Tucker County, West Virginia. The City of Parsons, over time, has acquired many parcels of FEMA-condemned properties due to the flood prone topography of Parsons. In an effort to properly manage the existing facilities, yet prepare for the future of the additional facilities scattered throughout the community, this master planning effort was begun. Through a series of public meetings and stakeholder meetings, a final plan will be realized with recommendations for ball fields, hiking and biking trails, a recreation center, miniature golf course, additional play structures, picnic facilities, ADA-compliant fishing access, interpretive signage, and landscaping improvements for the existing and new park areas.

Ararat River Greenway Parks Projects, Mount Airy, North Carolina. *City of Mount Airy, North Carolina.* Project Landscape Architect. Responsible for design and construction document preparation. Baker will prepare construction documents and provide construction administration and construction inspection for three (3) parks along the Ararat River in North Carolina. The designs will be prepared on a previously developed master plan of the Ararat River Greenway. The first park, Riverside Park, includes basketball courts, playground structures, parking areas, a premier soccer field, picnic shelters, nature trails, canoe launch facility, restrooms, fencing, signage and landscaping. Rowe Environmental Park will showcase environmental issues in the park design and construction, including an outdoor amphitheater and classroom, picnic facilities, nature trails, parking area, pedestrian bridge to nearby middle school, fishing access and canoe launch facility. The final park design is for Tharrington Park, which will include a premier soccer field, additional soccer fields to create a soccer complex, access road and parking, fitness trail, restroom facility, concessions, and a maintenance building.

Years with Baker: <1

Years with Other Firms: 26

Education

B.S. Landscape Architecture, West Virginia University, 1978

Computer Aided Drafting, Putnam County Technical Center, 1995

Registrations

CLA, Virginia, 1987

PLA, West Virginia, 2008

NICET Level 3 (Highway Design), 1983

Professional Affiliations

American Society of Landscape Architects

WV Chapter – American Society of Landscape Architects

Glen Jean Armory, Glen Jean, Fayette County West Virginia. Staff Landscape Architect. Prepared Complete Landscaping and Entrance Area Ramps/Stairs Plans addressing ADA and force protection issues.

Logan Readiness Center, Logan, West Virginia. Staff Landscape Architect. Designed parking lot and sidewalk system and prepared Landscaping Plan

Jackson County National Guard Facility, Cottageville, West Virginia. Staff Landscape Architect. Provided preliminary site analysis and conceptual plans for public comment phase of the project.

Morgantown National Guard Facility, Morgantown, West Virginia. Staff Landscape Architect. Provided conceptual site plan for submission to client.

St Albans High School, St Albans West Virginia, St. Albans School Board. Staff Landscape Architect/ Civil Designer - Prepared Complete Phased Civil and Site Construction Drawings for entire campus plan.

Lincoln County High School, Hamlin, West Virginia, Lincoln County Board of Education. Staff Landscape Architect/ Civil Designer. Prepared Complete Phased Civil and Site Construction Drawings for entire campus plan, including design of DOH roadway and extensive site grading.

Southside Elementary/Southwest Middle School, Huntington, West Virginia, Cabell County Board of Education. Staff Landscape Architect/ Civil Designer - Prepared Complete Phased Civil/Site/Landscape Construction Drawings for urban campus plan, which included a sustainable underground storm collection system.

Milton Middle School, Milton, West Virginia, Cabell County Board of Education. Staff Landscape Architect/ Civil Designer - Prepared Complete Phased Civil/Site Construction Drawings for rural campus plan, which included extensive site grading along with a sustainable underground storm collection system.

PREVIOUS WORK HISTORY

ZMM, Inc., Architects & Engineers, MAY 2000 – NOVEMBER 2007, *Landscape Architect,* Performed planning and site design functions, permit processing, software implementation and training. Responsible for all in-house site design and civil engineering projects for West Virginia's largest multidisciplinary AEC firm, specializing in educational, correctional, and commercial projects. Involved in all phases of design from site analysis and conceptual planning through construction documentation and administration. Prepared large scale site preparation and grading plans, provide drainage analysis, prepare storm water conveyance and detention plans, and produce utility and infrastructure design and worked with government agencies to obtain approvals and permits. In addition to design responsibilities, was in charge of recurrent training of the technical staff to support upgrades, advances, and improvements in design software.

Self Employed as a Design Consultant, April 1995 - May 2000, Provided civil, architectural, and environmental design and drafting services, Provided Instruction of on and offsite AutoCAD classes. Provided comprehensive design and drafting services for clients in the Charleston/Huntington area; Services included Land Use Planning, Civil Design and Drafting, Architectural Drafting, Environmental Design, and Landscape Architecture. Served as trainer for Mountain CAD, Charleston's Autodesk software reseller.

Metro D. Zatchey, Jr.

Electrical Engineering Technician

General Qualifications

Mr. Zatchey has extensive experience in highway lighting design, including conventional (low mast) and high mast lighting systems, tunnel lighting systems, highway sign lighting systems, and bridge navigational lighting systems. He has worked with various state transportation and highway agencies in the states of Pennsylvania, Ohio, Delaware, West Virginia, Mississippi, and New Jersey, and for the Pennsylvania Turnpike Commission, in the design and development of lighting systems on major highway, bridge, and tunnel projects. Mr. Zatchey's experience includes project supervision, design, drafting, specification preparation, budgeting and scheduling, cost estimates, quality control, and construction phase services.

Years with Baker: 37

Years with Other Firms: 0

Education

Graduate, 1970, Drafting, Gateway Technical Institute

Experience

Final Design for Swarthmore Streetscape and Town Center Improvement Project, Swarthmore Borough, Pennsylvania. *Swarthmore Borough.* Task Manager. Responsibilities included design and supervision of design of decorative local street lighting. Baker performed various final design, construction inspection, and project management tasks for this streetscape and town center improvement project. Baker was called into to assist with this project by Swarthmore Borough after two previous engineering firms had difficulty completing the project.

Washington Crossing Gateway Park and Streetscape Project, Washington Crossing, Pennsylvania. *Pennsylvania Department of Transportation (PennDOT), District 6-0.* Task Manager. Responsible for design and supervision of the design of decorative local street lighting. This project involved the design of the Washington Crossing Gateway Park: Village Streetscape and Pedestrian/Bicycle Linkages within the village of Washington Crossing. As part of this project, series of pedestrian and shared use paths were constructed. The project also included roadway improvements of reconstructing and resurfacing General Washington Memorial Boulevard. All work was on public lands such as DCNR and PHMC properties or within the PENNDOT right-of-way along state highways. The existing horizontal and vertical geometry of General Washington Memorial Boulevard was not changed by this project.

Traffic Signal Engineering & On-Site Support, Washington, DC. *DC Department of Transportation.* QA/QC. Responsible for performing the QA/QC review of Baker's design and construction plans for streetlight pole replacements. Tasks included checking voltage drop calculations, foot-candle calculations, and electrical distribution system specifications. Under this contract, Baker will provide general traffic engineering services with emphasis on: Traffic Engineering Studies, Intersection Design, Signing and Signal Design, Specifications, Project Management and Lighting Design.

Bridge over the Ohio River by 2007, the 878' – 6" long network tied arch that ranks as the longest of its type in the United States and one of the longest in the entire world. Baker provided project management, environmental and location studies, permitting, preliminary and final design as well as construction phase services.

Gateway Park and Streetscape Project, Washington Crossing, Pennsylvania. *Pennsylvania Department of Transportation (PennDOT), District 6-0.* Task Manager. Provided design and supervision for the design of decorative local street lighting. This project involved the design of the Washington Crossing Gateway Park: Village Streetscape and Pedestrian/Bicycle Linkages within the village of Washington Crossing. As part of this project, series of pedestrian and shared use paths were constructed. The project also included roadway improvements of reconstructing and resurfacing General Washington Memorial Boulevard. All work was on public lands such as DCNR and PHMC properties or within the PennDOT right-of-way along state highways. The existing horizontal and vertical geometry of General Washington Memorial Boulevard was not changed by this project.

Sixth Street Bridge, Huntington, West Virginia. *West Virginia Department of Transportation.* Designed both highway and navigation lighting systems.

Metro Property Developments. *Metro Property Developers.* Senior Designer. Provided design of lighting system for access roads within the developments.

Miracle Mile PennDOT Dist. 8-0. *Pennsbury Village Borough, Pennsylvania.* Senior Designer. Provided supervision for the design of a conventional highway lighting system.

Rochester Borough Streetscape, Rochester, Pennsylvania. *Beaver County Commissioners.* Senior Designer. Provided lighting design, electrical utility relocation, and construction phase services for construction of approximately 1,250 feet of streetscape along Brighton Avenue in Rochester Borough, Pennsylvania as part of an ongoing municipal sidewalk rehabilitation program funded by Beaver County.

Computer Expertise

Software Packages: Visual, LitePro, Excel

Continuing Education/Training

Highway Lighting, March 29-30, 2005, presented by Ohio Department of Transportation Traffic Academy

Presentations

Pennsylvania Turnpike Commission, 1998, Construction Management Conference Presentation on "Impacts Construction Changes Have on Highway Lighting Design and Procedure Field Inspectors Should Follow to Insure Compliance with Highway Lighting Design Requirements."

Teaching

Pennsylvania Department of Transportation (PennDOT) - Bureau of Design, April, 1998. Served on the committee to develop an education and training program for Highway Lighting Design within PennDOT.

Jason T. Smithson, P.S.

Civil Associate

General Qualifications

Mr. Smithson is currently employed as a Civil Associate at the Charleston, West Virginia office of Baker's South Region.

Mr. Smithson has over eight years of diverse experience that includes assignments in civil design, geotechnical engineering, environmental science, surveying, drilling, construction inspection and field and laboratory materials testing.

Experience

SIDEWALK AND DRAINAGE

As a Project Surveyor, Mr. Smithson established horizontal and vertical control and provided topographic mapping by conventional and GPS survey methods, to provide data for the creation of plan sheets for the construction of new sidewalks, as well as civil engineering to correct existing poor drainage concerns in various communities throughout West Virginia including:

- Town of West Milford, West Virginia
- Town of Mason, West Virginia
- Town of Hambleton, West Virginia
- Town of Moorefield, West Virginia

GEOTECHNICAL AND SURVEYING

Various WVDOH Highway Projects, West Virginia. *West Virginia Department of Transportation, Division of Highways.* Geotechnical Geologist, Project Surveyor and Engineering Technician.

Mr. Smithson provided subsurface investigation data, topographic mapping, and right of way services on several WVDOH projects for various highway consulting engineering firms. Responsibilities on these projects consisted of the generation of site surveys, property boundary mosaics, courthouse research, right of way questionnaires, and the development of right of way plans and parcel descriptions. Additionally, he provided geologic analysis data for the subsurface investigation to support the Geotechnical Engineering functions toward the development of highway construction plans. This work included locating all physical and topographic features, utility locations, storm drainage features, property boundary lines, courthouse research and interaction with all existing property owners to complete property questionnaires for right of way acquisition, drill program planning, core logging and analysis, and cut-fill slope design.

Bob Evans Farms, Inc., Columbus, Ohio. *Bob Evans Farms, Inc.* Project Surveyor. Mr. Smithson provided complete services for an ALTA/ACSM Survey of the Bob Evans Restaurants in Huntington, West Virginia and Canonsburg, Kentucky. Services included field surveying (boundary and topographic), courthouse research and assessment of the Title Commitment for the subject property.

Years with Baker: 1

Years with Other Firms: 7

Education

B.S., 1999, Geology, West Virginia University

Licenses/Certifications

Professional Surveyor, West Virginia, 2007, 2153

OSHA 40-Hour HAZWOPER Certification, 1999

OSHA 10-Hour Safety Training, 2005

Certified Well Driller, West Virginia, 2002, WV00316

John W. Dawson, P.E., P.S.

Construction Services Manager

General Qualifications

Mr. Dawson was employed by WVDOH for 33 years prior to coming to work for Baker as the Construction Services Manager for West Virginia. During his 33 years with the DOH, he worked on several road and bridge projects as a Project Engineer. As he gained more experience, he was given increased responsibility and promoted to Construction Area Engineer, then Construction Engineer, and eventually District Engineer for District 1.

Years with Baker: 2

Years with Other Firms: 33

Education

B.S. Civil Engineering (1970)

Registrations

Professional Engineer WV #7190

Professional Engineer VA #41018

Professional Surveyor #1415

Project Experience

1970 to 1978, Area Const. Engineer, District 4

1978 to 1980, Asst. Regional Engineer, Construction Division.

1980 to 1985, Area Construction Engineer, District 1. Responsible for projects on the West Virginia Turnpike within District 1. Over sight of several projects for conflict/problem resolution. Establish an effective and safe working relationship with contractors, suppliers, consultants, utility companies, government agencies, municipalities, property owners, employees, and the general public by letter, telephone, or personal appearance. Act as a liaison between the above and the District One Construction Office. Review plans and proposals and recommend changes and corrections.

1985 to 1995, Construction Engineer, District 1. Mr. Dawson was responsible for management and administrative duties for all construction contracts within the District. The construction section was comprised of Project Inspectors/ Engineers, Utilities Inspectors, Survey Parties and Materials Testing Technicians for a total of approx. 120 employees.

1995 to 1998, Maintenance Engineer, District 1. Mr. Dawson was responsible for management and administration of the District Permits, Design and Maintenance Sections. There are 13 maintenance organizations with 400 employees and an annual budget of approx. \$20 Million.

1998 to 2003, District Engineer, District 1. Responsible for the engineering and administrative duties of directing, organizing and coordinating the work of District One which consists of Construction, Bridge, Design, Traffic, Maintenance, Personnel, Equipment, Right-of-Way, Comptroller and Permits Sections. District One is comprised of five Counties containing over 4000 miles of roadways and over 1200 Bridges with 500 Employees.

Jan. 2004 to Present, Construction Services Manager, Baker. In this position Mr. Dawson is responsible for all Construction Management and Inspection activities for West Virginia and Virginia. This includes the management of several concurrent projects, project staffing, training and recruitment, invoicing clients, and securing new work.

Part 8 – References

Each of the Project Profiles found in Part 6 lists Baker's client and contact information for your use as a reference. Additionally, we offer the following diverse list of past or current clients and contact information:

- Central West Virginia Regional Airport Authority - Yeager Airport
100 Airport Road, Suite 175
Charleston, WV 25311-1080
Mr. Richard A. Atkinson, III, Airport Director
(304) 344-8033
- West Virginia Division of Transportation – Division of Highways
1900 Kanawha Boulevard East
Building 5, Room A-317
Charleston, WV 25305
Mr. James E. Sothen, P.E., Deputy State Highway Engineer
(304) 558-0191
- WV Division of Homeland Security & Emergency Mgmt., E-911 Mapping
1900 Kanawha Boulevard East
Building 1, Room EB-80
Charleston, WV 25305
Mr. Jimmy Joe Gianato, Director of Homeland Security
(304) 558-5380
- WV Statewide Addressing and Mapping Board
1124 Smith Street, Room LM-10
Greenbrooke Building
Charleston, WV 25301
Ms. Leigh Cielensky, Executive Assistant
(304) 558-4218
- U.S. Army Corps of Engineers – Huntington District
502 Eighth Street
Huntington, WV 25701
Mr. David Meadows, P.E.
(304) 399-5243
- Federal Aviation Administration - Beckley Airports District Office
176 Airport Circle, Room 101
Beaver, WV 25813-9350
Mr. Matthew Di Giulian, P.E.
(304) 252-6216
- West Virginia Army National Guard – Division of Engineering and Facilities
1707 Coonskin Drive
Charleston, WV 25311-1099
Major Michael J. Beckner, Facilities Management Officer
(304) 561-6333



State of West Virginia
 Department of Administration
 Purchasing Division
 2019 Washington Street East
 Post Office Box 50130
 Charleston, WV 25305-0130

Request for Quotation

RFQ NUMBER
 DNR209057

PAGE
 1

ADDRESS CORRESPONDENCE TO ATTENTION OF:
 FRANK WHITTAKER
 304-558-2316

RFQ COPY
 TYPE NAME/ADDRESS HERE

Baker

MICHAEL BAKER JR., INC.
 5088 West Washington Street
 Charleston, WV 25313

DIVISION OF NATURAL RESOURCES
 PARKS & RECREATION SECTION
 BUILDING 3, ROOM 719
 1900 KANAWHA BOULEVARD, EAST
 CHARLESTON, WV
 25305-0662 304-558-2775

DATE PRINTED	TERMS OF SALE	SHIP VIA	FOB	FREIGHT TERMS
11/06/2008				

BID OPENING DATE: 12/09/2008 BID OPENING TIME 01:30PM

LINE	QUANTITY	UOP	CAT NO	ITEM NUMBER	UNIT PRICE	AMOUNT
0001	1	LS		906-00-00-001		
ARCHITECT/ENGINEERING SERVICES, PROFESSIONAL EXPRESSION OF INTEREST THE WEST VIRGINIA PURCHASING DIVISION, FOR THE AGENCY, THE WEST VIRGINIA DIVISION IF NATURAL RESOURCES, IS SOLICITING EXPRESSIONS OF INTEREST FOR ARCHITECTURAL AND ENGINEERING SERVICES FOR LODGE EXPANSION AND PARK IMPROVEMENTS AT CACAPON RESORT STATE PARK LOCATED IN BERKELEY SPRINGS WV, PER THE ATTACHED SPECIFICATIONS. TECHNICAL QUESTIONS MUST BE SUBMITTED IN WRITING TO FRANK WHITTAKER IN THE WEST VIRGINIA PURCHASING DIVISION VIA FAX AT 304-558-4115 OR VIS EMAIL AT FRANK.M.WHITTAKER@WV.GOV. DEADLINE FOR ALL TECHNICAL QUESTIONS IS NOVEMBER 21, 2008 AT 3:00 PM. ALL TECHNICAL QUESTIONS RECEIVED, IF ANY WILL BE ANSWERED BY ADDENDUM AFTER THE DEADLINE. QUESTIONS CONCERNING THE PROCESS BY WHICH A VENDOR MAY SUBMIT AN EXPRESSION OF INTEREST TO THE STATE OF WEST VIRGINIA ARE NOT CONSIDERED TECHNICAL QUESTIONS AND MAY BE SUBMITTED AT ANY TIME PRIOR TO THE BID OPENING DATE AND TIME. EXHIBIT 10 ADDENDUM ACKNOWLEDGEMENT I HEREBY ACKNOWLEDGE RECEIPT OF THE FOLLOWING CHECKED ADDENDUM(S) AND HAVE MADE THE NECESSARY REVISIONS TO						

SEE REVERSE SIDE FOR TERMS AND CONDITIONS

SIGNATURE <i>Frank Whittaker</i>	TELEPHONE 304-769-0821	DATE 12/8/08
TITLE Asst. Vice Pres.	FEIN 251228638	ADDRESS CHANGES TO BE NOTED ABOVE

WHEN RESPONDING TO RFQ, INSERT NAME AND ADDRESS IN SPACE ABOVE LABELED 'VENDOR'

**GENERAL TERMS & CONDITIONS
REQUEST FOR QUOTATION (RFQ) AND REQUEST FOR PROPOSAL (RFP)**

1. Awards will be made in the best interest of the State of West Virginia
2. The State may accept or reject in part, or in whole, any bid.
3. All quotations are governed by the *West Virginia Code* and the *Legislative Rules* of the Purchasing Division.
4. Prior to any award, the apparent successful vendor must be properly registered with the Purchasing Division and have paid the required \$125 fee.
5. All services performed or goods delivered under State Purchase Order/Contracts are to be continued for the term of the Purchase Order/Contracts, contingent upon funds being appropriated by the Legislature or otherwise being made available. In the event funds are not appropriated or otherwise available for these services or goods, this Purchase Order/Contract becomes void and of no effect after June 30.
6. Payment may only be made after the delivery and acceptance of goods or services.
7. Interest may be paid for late payment in accordance with the *West Virginia Code*.
8. Vendor preference will be granted upon written request in accordance with the *West Virginia Code*.
9. The State of West Virginia is exempt from federal and state taxes and will not pay or reimburse such taxes.
10. The Director of Purchasing may cancel any Purchase Order/Contract upon 30 days written notice to the seller.
11. The laws of the State of West Virginia and the *Legislative Rules* of the Purchasing Division shall govern all rights and duties under the Contract, including without limitation the validity of this Purchase Order/Contract.
12. Any reference to automatic renewal is hereby deleted. The Contract may be renewed only upon mutual written agreement of the parties.
13. **BANKRUPTCY:** In the event the vendor/contractor files for bankruptcy protection, this Contract may be deemed null and void, and terminated without further order.
14. **HIPAA BUSINESS ASSOCIATE ADDENDUM:** The West Virginia State Government HIPAA Business Associate Addendum (BAA), approved by the Attorney General, and available online at the Purchasing Division's web site (<http://www.state.wv.us/admin/purchase/vrc/hipaa.htm>) is hereby made part of the agreement. Provided that, the Agency meets the definition of a Cover Entity (45 CFR §160.103) and will be disclosing Protected Health Information (45 CFR §160.103) to the vendor.
15. **WEST VIRGINIA ALCOHOL & DRUG-FREE WORKPLACE ACT:** If this Contract constitutes a public improvement construction contract as set forth in Article 1D, Chapter 21 of the West Virginia Code ("The West Virginia Alcohol and Drug-Free Workplace Act"), then the following language shall hereby become part of this Contract: "The contractor and its subcontractors shall implement and maintain a written drug-free workplace policy in compliance with the West Virginia Alcohol and Drug-Free Workplace Act, as set forth in Article 1D, Chapter 21 of the West Virginia Code. The contractor and its subcontractors shall provide a sworn statement in writing, under the penalties of perjury, that they maintain a valid drug-free work place policy in compliance with the West Virginia and Drug-Free Workplace Act. It is understood and agreed that this Contract shall be cancelled by the awarding authority if the Contractor: 1) Fails to implement its drug-free workplace policy; 2) Fails to provide information regarding implementation of the contractor's drug-free workplace policy at the request of the public authority; or 3) Provides to the public authority false information regarding the contractor's drug-free workplace policy."

INSTRUCTIONS TO BIDDERS

1. Use the quotation forms provided by the Purchasing Division.
2. **SPECIFICATIONS:** Items offered must be in compliance with the specifications. Any deviation from the specifications must be clearly indicated by the bidder. Alternates offered by the bidder as **EQUAL** to the specifications must be clearly defined. A bidder offering an alternate should attach complete specifications and literature to the bid. The Purchasing Division may waive minor deviations to specifications.
3. Complete all sections of the quotation form.
4. Unit prices shall prevail in case of discrepancy.
5. All quotations are considered F.O.B. destination unless alternate shipping terms are clearly identified in the quotation.
6. **BID SUBMISSION:** All quotations must be delivered by the bidder to the office listed below prior to the date and time of the bid opening. Failure of the bidder to deliver the quotations on time will result in bid disqualifications: Department of Administration, Purchasing Division, 2019 Washington Street East, P.O. Box 50130, Charleston, WV 25305-0130



State of West Virginia
 Department of Administration
 Purchasing Division
 2019 Washington Street East
 Post Office Box 50130
 Charleston, WV 25305-0130

Request for Quotation

RFQ NUMBER
 DNR209057

PAGE
 2

ADDRESS CORRESPONDENCE TO ATTENTION OF
 FRANK WHITTAKER
 804-558-2316

RFQ COPY
 TYPE NAME/ADDRESS HERE

Baker

MICHAEL BAKER JR., INC.
 5088 West Washington Street
 Charleston, WV 25313

SHIP TO

DIVISION OF NATURAL RESOURCES
 PARKS & RECREATION SECTION
 BUILDING 3, ROOM 719
 1900 KANAWHA BOULEVARD, EAST
 CHARLESTON, WV
 25305-0662 304-558-2775

DATE PRINTED	TERMS OF SALE	SHIP VIA	FOB	FREIGHT TERMS
11/06/2008				

BID OPENING DATE: 12/09/2008 BID OPENING TIME: 01:30PM

LINE	QUANTITY	UOP	CAT NO	ITEM NUMBER	UNIT PRICE	AMOUNT
MY PROPOSAL, PLANS AND/OR SPECIFICATION, ETC.						
ADDENDUM NOS. :						
NO. 1		X				
NO. 2						
NO. 3						
NO. 4						
NO. 5						
I UNDERSTAND THAT FAILURE TO CONFIRM THE RECEIPT OF THE ADDENDUM(S) MAY BE CAUSE FOR REJECTION OF THE BIDS.						
VENDOR MUST CLEARLY UNDERSTAND THAT ANY VERBAL REPRESENTATION MADE OR ASSUMED TO BE MADE DURING ANY ORAL DISCUSSION HELD BETWEEN VENDOR'S REPRESENTATIVES AND ANY STATE PERSONNEL IS NOT BINDING. ONLY THE INFORMATION ISSUED IN WRITING AND ADDED TO THE SPECIFICATIONS BY AN OFFICIAL ADDENDUM IS BINDING.						
SIGNATURE						
COMPANY						
DATE						
REV. 11/96						
BANKRUPTCY: IN THE EVENT THE VENDOR/CONTRACTOR FILES FOR BANKRUPTCY PROTECTION, THIS CONTRACT IS AUTOMATI-						

SEE REVERSE SIDE FOR TERMS AND CONDITIONS

SIGNATURE: *[Handwritten Signature]* TELEPHONE: 304-769-0921 DATE: 12/8/08
 TITLE: Asst. Vice President FEIN: 251228638 ADDRESS CHANGES TO BE NOTED ABOVE

WHEN RESPONDING TO RFQ, INSERT NAME AND ADDRESS IN SPACE ABOVE LABELED 'VENDOR'



State of West Virginia
 Department of Administration
 Purchasing Division
 2019 Washington Street East
 Post Office Box 50130
 Charleston, WV 25305-0130

Request for Quotation

RFQ NUMBER
DNR209057

PAGE
3

ADDRESS CORRESPONDENCE TO ATTENTION OF
FRANK WHITTAKER
304-558-2316

RFQ COPY
 TYPE NAME/ADDRESS HERE

VENDOR

Baker

MICHAEL BAKER JR., INC.
 5088 West Washington Street
 Charleston, WV 25313

SHIP TO

DIVISION OF NATURAL RESOURCES
 PARKS & RECREATION SECTION
 BUILDING 3, ROOM 719
 1900 KANAWHA BOULEVARD, EAST
 CHARLESTON, WV
 25305-0662 304-558-2775

DATE PRINTED	TERMS OF SALE	SHIP VIA	FOB	FREIGHT TERMS
11/06/2008				

BID OPENING DATE: **12/09/2008** BID OPENING TIME: **01:30PM**

LINE	QUANTITY	UQP	CAT NO	ITEM NUMBER	UNIT PRICE	AMOUNT
<p>CALLY NULL AND VOID, AND IS TERMINATED WITHOUT FURTHER ORDER.</p> <p>REV. 1/2005</p> <p style="text-align: center;">NOTICE</p> <p>A SIGNED BID MUST BE SUBMITTED TO:</p> <p style="padding-left: 40px;">DEPARTMENT OF ADMINISTRATION PURCHASING DIVISION BUILDING 15 2019 WASHINGTON STREET, EAST CHARLESTON, WV 25305-0130</p> <p>THE BID SHOULD CONTAIN THIS INFORMATION ON THE FACE OF THE ENVELOPE OR THE BID MAY NOT BE CONSIDERED:</p> <p>SEALED BID</p> <p>BUYER: 44</p> <p>REQ. NO.: DNR209057</p> <p>BID OPENING DATE: 12/09/08</p> <p>BID OPENING TIME: 1:30 PM</p> <p>PLEASE PROVIDE A FAX NUMBER IN CASE IT IS NECESSARY TO CONTACT YOU REGARDING YOUR BID:</p> <p style="text-align: center;">304-769-0822</p> <p>PLEASE PRINT OR TYPE NAME OF PERSON TO CONTACT</p>						

SEE REVERSE SIDE FOR TERMS AND CONDITIONS

SIGNATURE <i>Samuel Hall</i>	TELEPHONE 304 769 0821	DATE 12/8/08
TITLE <i>Asst. Vice President</i>	FAX 251 228 638	ADDRESS CHANGES TO BE NOTED ABOVE

WHEN RESPONDING TO RFQ, INSERT NAME AND ADDRESS IN SPACE ABOVE LABELED 'VENDOR'



State of West Virginia
 Department of Administration
 Purchasing Division
 2019 Washington Street East
 Post Office Box 50130
 Charleston, WV 25305-0130

Request for Quotation

RFQ NUMBER
 DNR209057

PAGE
 4

ADDRESS CORRESPONDENCE TO ATTENTION OF
 FRANK WHITTAKER
 304-558-2316

RFQ COPY
 TYPE NAME/ADDRESS HERE

Baker

MICHAEL BAKER JR., INC.
 5088 West Washington Street
 Charleston, WV 25313

DIVISION OF NATURAL RESOURCES
 PARKS & RECREATION SECTION
 BUILDING 3, ROOM 719
 1900 KANAWHA BOULEVARD, EAST
 CHARLESTON, WV
 25305-0662 304-558-2775

DATE PRINTED 11/06/2008	TERMS OF SALE	SHIP VIA	FOB	FREIGHT TERMS
----------------------------	---------------	----------	-----	---------------

BID OPENING DATE: 12/09/2008 BID OPENING TIME 01:30PM

LINE	QUANTITY	UOP	CAT NO	ITEM NUMBER	UNIT PRICE	AMOUNT
CONCERNING THIS QUOTE: <i>Patrick W. Fogarty</i>						
***** THIS IS THE END OF RFQ DNR209057 ***** TOTAL:						

SEE REVERSE SIDE FOR TERMS AND CONDITIONS

SIGNATURE <i>Russell Hall</i>	TELEPHONE 304 769082	DATE 12/8/08
TITLE Asst. Vice President	FEIN 251228438	ADDRESS CHANGES TO BE NOTED ABOVE

WHEN RESPONDING TO RFQ, INSERT NAME AND ADDRESS IN SPACE ABOVE LABELED 'VENDOR'

Revised July 26, 2007

EXPRESSION OF INTEREST
Cacapon Resort State Park
Lodge Expansion and Park Improvements
DNR209057

Part 1 GENERAL INFORMATION

1.1 Purpose:

The Acquisition and Contract Administration Section of the Purchasing Division "State" is soliciting Expression(s) of Interest (EOI) for West Virginia Division of Natural Resources, Parks and Recreation Section, "Agency", from qualified firms to provide architectural/engineering services as defined in section two (2) and three (3).

1.2 Project:

The mission or purpose of the project described in sections 2 & 3 is to provide professional engineering services pursuant to the following objectives:

Provide necessary professional architectural and engineering and related services to plan and construct an expansion and improvements to the lodge, improvements to the golf course, and improvements to the water supply and waste water treatment systems at Cacapon State Park.

Provide necessary professional architectural and engineering services including those necessary to effectively plan and produce construction documents and specifications and other related services to complete the project.

1.3 Format: N/A

1.4 Inquiries:

Additional information inquiries regarding this EOI must be submitted in writing to the State Buyer with the exception of questions regarding proposal submission, which may be oral. The deadline for written inquiries is identified in the Schedule of Events, Section 1.16. All inquiries of specification clarification must be addressed to:

Frank Whittaker, Senior Buyer
Purchasing Division
P.O. Box 50130
Charleston, WV 25305-0130
Fax: (304) 558-4115

The firm, or anyone on the firm's behalf, is not permitted to make any contact whatsoever with any member of the evaluation committee. Violation may result in rejection of the EOI. The State Buyer named above is the sole contact for any and all inquiries after this EOI has been released.

1.5 Vendor Registration:

Firms participating in this process should complete and file a **Vendor Registration and Disclosure Statement** (Form WV-1) and remit the registration fee. Firm is not required to be a registered vendor in order to submit an EOI, but the **successful firm must register and pay the fee prior to the issuance of an actual contract.**

1.6 Oral Statements and Commitments:

Firm must clearly understand that any verbal representations made or assumed to be made during any oral discussions held between firm's representatives and any State personnel are **not** binding. Only the information issued in writing and added to the Expression of Interest specifications file by an official written addendum is binding.

1.7 Economy of Preparation:

EOI's should be prepared simply and economically, providing a straightforward, concise description of firm's abilities to satisfy the requirements of the EOI. Emphasis should be placed on completeness and clarity of content.

1.8 Labeling of the Sections: The response sections should be labeled for ease of evaluation.

1.9 Submission:

1.9.1 State law requires that the original expression shall be submitted to the Purchasing Division. All copies to the Purchasing Division must be submitted **prior** to the date and time stipulated as the opening date. All expressions will be date and time stamped on the Purchasing Division official time clock to verify time and date of receipt.

1.9.2 Firms mailing expressions should allow sufficient time for mail delivery to ensure timely arrival. The Purchasing Division **CANNOT** waive or excuse late receipt of an expression which is delayed and late for any reason according West Virginia State Code §5A-3-11. Any EOI received after the bid opening time and date will be immediately disqualified in accordance with State law and the Legislative Rule 148-CSR-1.

Submit:

One original plus (2) convenience copies to:
Purchasing Division
2019 Washington Street, East
P.O. Box 50130
Charleston, WV 25305-0130

The outside of the envelope or package(s) should be clearly marked:

Buyer: 44
Req#: DNR209057
Opening Date: 12/09/08
Opening Time: 1:30 PM

1.10 Rejection of Expressions:

The State shall select the best value solution according to §5G-1-3 of the West Virginia State Code. However, the State reserves the right to accept or reject any or all expressions and to reserve the right to withdraw this Expression of Interest at any time and for any reason. Submission of, or receipt by the State of Expressions confers no rights upon the firm nor obligates the State in any manner.

1.11 Incurring Costs:

The State and any of its employees or officers shall not be held liable for any expenses incurred by any firm responding to this EOI for expenses to prepare, deliver, or to attend the short-list interviews.

1.12 Addenda:

If it becomes necessary to revise any part of this EOI, an official written addendum will be issued by the State to all potential firms of record.

1.13 Independent Price Determination:

A contract will not be considered for award if the negotiated price was not arrived at independently without collusion, consultation, communication, or agreement as to any matter relating to prices with any competitor.

1.14 Price Quotations: No "price" or "fee" quotation is requested or permitted in the response.

1.15 Public Record:

1.15.1 Submissions are Public Record.

All documents submitted to the State Purchasing Division related to purchase orders/contracts are considered public records. All EOI's submitted by firms shall become public information and are available for inspection during normal official business hours in the Purchasing Division Records and Distribution center after the expressions have been opened.

1.15.2 Written Release of Information.

All public information may be released with or without a Freedom of Information request, however, only a written request will be acted upon with duplication fees paid in advance. Duplication fees shall apply to all requests for copies of any document. Currently the fees are \$0.50/page, or a minimum of \$10.00 per request, whichever is greater.

1.15.3 Risk of Disclosure.

The only exemptions to disclosure of information are listed in West Virginia Code §29B-1-4. Primarily, only trade secrets as submitted by a firm are the only exemption to public disclosure. The submission of any information to the State by a firm puts the risk of disclosure on the firm. The submission of any information to the State by a vendor puts the risk of disclosure on the vendor. The State does not guarantee non-disclosure of any information to the public.

1.16 Schedule of Events:

Release of the EOI	11/07/08
Firm's Written Questions Submission Deadline	11/21/08
Addendum Issued	12/01/08
Expressions of Interest Opening Date	12/09/08
Estimated Date for Interviews	TBD

1.17 Mandatory Prebid Conference:

N/A

1.18 Bond Requirements:

N/A

1.19 Purchasing Affidavit:

West Virginia State Code §5A-3-10a (3) (d) requires that all firms submit an Affidavit regarding any debt owed to the State and licensing and confidentiality certifications. The Affidavit **must** be signed and submitted prior to award. It is preferred that the Affidavit be submitted with the EOI.

PART 2

OPERATING ENVIRONMENT

2.1 Location: Agency is located at the following address:

West Virginian Division of Natural Resources
Parks and Recreation Section
1900 Kanawha Boulevard, East
Charleston, WV 25305

Facilities where work will be performed:

Cacapon Resort State Park
818 Cacapon Lodge Drive.
Berkeley Springs, WV 25411-3300

2.2 Background:

The Division of Natural Resources owns and operates Cacapon Resort State Park.

The Division of Natural Resources desires to provide the referenced improvements to the park. Professional services will be necessary to effectively plan, describe, and monitor the construction necessary to provide these improvements.

PART 3 PROCUREMENT SPECIFICATIONS

3.1 **General Requirements:**

Provide described services in accordance with current state law and other applicable state codes or regulations.

3.2 **Project Description:**

Provide professional engineering services pursuant to the following objectives:

Provide necessary professional architectural, engineering and related services to plan and construct an expansion and improvements to the lodge, improvements to the golf course, and improvements to the water supply and waste water treatment systems at Cacapon State Park.

The improvements to the lodge may include:

- 100 new guest rooms, room furnishings, necessary common space and elevator(s)
- A connecting corridor between the existing lodge and new facilities
- Additional parking and improvements to the existing parking lot
- Installation of a sprinkler system in the existing lodge to comply with current fire safety code requirements
- Fitness area, full service spa, and indoor swimming pool
- An expansion of the existing lodge dining room and kitchen facilities with related equipment improvements and replacements
- Improve the HVAC of the existing lodge
- Landscaped outdoor patio at the lodge overlooking the golf course
- All required furnishings to make these facilities functional

Improvements to the golf course may include:

- Renovation of the sand bunkers
- General drainage improvements

Improvements to the water supply system improvements may include:

- New groundwater wells and related controls
- New raw water line to the existing water treatment plant
- Upgrade existing water treatment plant to provide additional capacity

- Upgrade miscellaneous piping as necessary to connect to new wells

Improvements to the wastewater treatment system may include:

- Renovate or replace existing water treatment plant that serves the lodge

Provide necessary professional architectural and engineering services including those necessary to effectively plan and produce construction documents and specifications and other related services to complete the project.

3.3 **Special Terms and Conditions:**

3.3.1 *Bid and Performance Bonds:* N/A

3.3.2 *Insurance Requirements:* \$1,000,000 Professional Liability
Workers Compensation Certificate upon award

3.4 **General Terms and Conditions:**

By signing and submitting the EOI, the successful firm agrees to be bound by all the terms contained in Section Three (3) of this EOI.

3.4.1 *Conflict of Interest:*

Firm affirms that it, its officers or members or employees presently have no interest and shall not acquire any interest, direct or indirect which would conflict or compromise in any manner or degree with the performance or its services hereunder. The firm further covenants that in the performance of the contract, the firm shall periodically inquire of its officers, members and employees concerning such interests. Any such interests discovered shall be promptly presented in detail to the Agency.

3.4.2 *Prohibition Against Gratuities:*

Firm warrants that it has not employed any company or person other than a bona fide employee working solely for the firm or a company regularly employed as its marketing agent to solicit or secure the contract and that it has not paid or agreed to pay any company or person any fee, commission, percentage, brokerage fee, gifts or any other consideration contingent upon or resulting from the award of the contract. For breach or violation of this warranty, the State shall have the right to annul this contract without liability at its discretion, and/or to pursue any other remedies available under this contract or by law.

3.4.3 *Certifications Related to Lobbying:*

Firm certifies that no federal appropriated funds have been paid or will be paid, by or on behalf of the company or an employee thereof, to any person for purposes of influencing or attempting to influence an officer or employee of any Federal entity, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of any Federal contract, the making of any Federal grant, the making of any Federal loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment or modification of any Federal contract, grant, loan, or cooperative agreement.

If any funds other than federally appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee or any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with this Federal contract, grant, loan, or cooperative agreement, the firm shall complete and submit a disclosure form to report the lobbying.

Firm agrees that this language of certification shall be included in the award documents for all sub-awards at all tiers (including subcontracts, sub-grants, and contracts under grants, loans, and cooperative agreements) and that all sub recipients shall certify and disclose accordingly. This certification is a material representation of fact upon which reliance was placed when this contract was made and entered into.

3.4.4 Vendor Relationship:

The relationship of the firm to the State shall be that of an independent contractor and no principal-agent relationship or employer-employee relationship is contemplated or created by the parties to this contract. The firm as an independent contractor is solely liable for the acts and omissions of its employees and agents.

Firm shall be responsible for selecting, supervising and compensating all individuals employed pursuant to the terms of this EOI and resulting contract. Neither the firm nor any employees or contractors of the firm shall be deemed to be employees of the State for any purposes whatsoever.

The Firm shall be exclusively responsible for payment of employees and contractors for all wages and salaries, taxes, withholding payments, penalties, fees, fringe benefits, professional liability insurance premiums, contributions to insurance and pension or other deferred compensation plans, including but not limited to Workers' Compensation and Social Security obligations, and licensing fees, etc. and the filing of all necessary documents, forms and returns pertinent

to all of the foregoing.

The Firm shall hold harmless the State, and shall provide the State and Agency with a defense against all claims including but not limited to the foregoing payments, withholdings, contributions, taxes, social security taxes and employer income tax returns.

The firm shall not assign, convey, transfer or delegate any of its responsibilities and obligations under this contract to any person, corporation, partnership, association or entity without expressed written consent of the Agency.

3.4.5 *Indemnification:*

The firm agrees to indemnify, defend and hold harmless the State and the Agency, their officers, and employees from and against: (1) Any claims or losses for services rendered by any subcontractor, person or firm performing or supplying services, materials or supplies in connection with the performance of the contract; (2) Any claims or losses resulting to any person or entity injured or damaged by the firm, its officers, employees, or subcontractors by the publication, translation, reproduction, delivery, performance, use or disposition of any data used under the contract in a manner not authorized by the contract, or by Federal or State statutes or regulations; (3) Any failure of the firm, its officers, employees or subcontractors to observe State and Federal laws, including but not limited to labor and wage laws.

3.4.6 *Contract Provisions:*

After the most qualified firm is identified, and fee negotiations are concluded, a formal contract document will be executed between the State and the firm. The order of precedence is the contract, the EOI and the firm's response to the EOI.

3.4.7 *Governing Law:*

This contract shall be governed by the laws of the State of West Virginia. The firm further agrees to comply with the Civil Rights Act of 1964 and all other applicable laws (Federal, State or Local Government) regulations.

3.4.8 *Compliance with Laws and Regulations:*

The firm shall procure all necessary permits and licenses to comply with all applicable laws, Federal, State or municipal, along with all regulations, and ordinances of any regulating body.

The firm shall pay any applicable sales, use, or personal property taxes arising out of this contract and the transactions contemplated thereby. Any other

taxes levied upon this contract, the transaction, or the equipment, or services delivered pursuant here to shall be borne by the contractor. It is clearly understood that the State of West Virginia is exempt from any taxes regarding performance of the scope of work of this contract.

3.4.9 *Subcontracts/Joint Ventures:*

The State will consider the firm to be the sole point of contact with regard to all contractual matters. The firm may, with the prior written consent of the State, enter into written subcontracts for performance of work under this contract; however, the firm is totally responsible for payment of all subcontractors.

3.4.10 *Term of Contract:*

This contract will be effective (date set upon award) and shall extend until the scope of work is complete or for one (1) consecutive twelve (12) month period. The contract may be renewed upon mutual consent for two (2) consecutive years one (1) year periods or until such reasonable time as may be necessary to obtain a new contract or to complete work.

3.4.11 *Non-Appropriation of Funds:*

If the Agency is not allotted funds in any succeeding fiscal year for the continued use of the service covered by this contract by the West Virginia Legislature, the Agency may terminate the contract at the end of the affected current fiscal period without further charge or penalty. The Agency shall give the firm written notice of such non-allocation of funds as soon as possible after the Agency receives notice. No penalty shall accrue to the Agency in the event this provision is exercised.

3.4.12 *Contract Termination:*

The State may terminate any contract resulting from this EOI immediately at any time the firm fails to carry out its responsibilities or to make substantial progress under the terms of this EOI and resulting contract. The State shall provide the firm with advance notice of performance conditions, which are endangering the contract's continuation. If after such notice the firm fails to remedy the conditions contained in the notice, within the time contained in the notice, the State shall issue the firm an order to cease and desist all work immediately.

The State shall be obligated only for services rendered and accepted prior to the date of the notice of termination. The contract may also be terminated upon mutual agreement of the parties with thirty (30) days prior notice.

3.4.13 *Changes:*

If changes to the original contract become necessary, a formal contract change

order will be required. Prior to any work being performed, the change must be negotiated and approved by the State, the Agency and the firm. An approved contract change order is defined as one approved by the Purchasing Division and approved as to form by the West Virginia Attorney General's Office prior to the effective date of such amendment. **NO CHANGE SHALL BE IMPLEMENTED BY THE FIRM UNTIL THE FIRM RECEIVES AN APPROVED WRITTEN CHANGE ORDER.**

3.4.14 *Invoices, Progress Payments, & Retainage:*

The Firm shall submit invoices, in arrears, to the Agency at the address on the face of the purchase order labeled "Invoice To" pursuant to the terms of the contract. Progress payments may be made at the option of the Agency based on percentage of work completed if so defined in the final contract. Any provision for progress payments must also include language for a minimum 10% retainage until the final deliverable is accepted.

If progress payments are permitted, firm is required to identify points in the work plan at which compensation would be appropriate. Progress reports must be submitted to Agency with the invoice detailing progress completed or any deliverables identified. Payment will be made only upon approval of acceptable progress or deliverables as documented in the firm's report. Invoices may not be submitted more than once monthly and State law forbids payment of invoices prior to receipt of services.

3.4.15 *Liquidated Damages:*

According to West Virginia State Code §5A-3-4(8), firm agrees that liquidated damages shall be imposed at the rate of \$100 per workday, for failure to provide deliverables at the agreed upon date identified in the final contract. This clause shall in no way be considered exclusive and shall not limit the State or Agency's right to pursue to any other additional remedy to which the State or Agency may have legal cause for action including further damages against the firm.

3.4.16 *Record Retention (Access & Confidentiality):*

Firm shall comply with all applicable Federal and State of West Virginia rules and regulations, and requirements governing the maintenance of documentation to verify any cost of services or commodities rendered under this contract by the firm. The firm shall maintain such records a minimum of five (5) years and make available all records to Agency personnel at firm's location during normal business hours upon written request by Agency within 10 days after receipt of the request.

Firm shall have access to private and confidential data maintained by Agency to the extent required for firm to carry out the duties and responsibilities defined in this contract. Firm agrees to maintain confidentiality and security of the data made available and shall indemnify and hold harmless the State and Agency against any and all claims brought by any party attributed to actions of breach of confidentiality by the firm, subcontractors, or individuals permitted access by the firm.

PART 4 EVALUATION & AWARD

4.1 Evaluation & Award Process:

- a) **Expressions of Interest will be evaluated and awarded in accordance with §5G-1-3 "Contracts for architectural and engineering services; selection process where total project costs are estimated to cost two hundred fifth thousand dollars or more."**

"In the procurement of architectural and engineering services for projects estimated to cost two hundred and fifty thousand dollars or more the director of purchasing shall encourage such firms engaged in the lawful practice of the profession to submit an expression of interest, which shall include a statement of qualifications, and performance data and may include anticipated concepts and proposed methods of approach to the project. All such jobs shall be announced by public notice published as a Class II legal advertisement in compliance with the provisions of article three [§59-3-1et seq.] A committee comprised of three to five representatives of the agency initiating the request shall evaluate the statements of qualifications and performance data and other material submitted by the interested firms and select three firms which in their opinion are the best qualified to perform the desired service. Interviews with each firm selected shall be conducted and the committee shall conduct discussions regarding anticipated concepts and the proposed methods of approach to the assignment. The committee shall then rank in order of preference no less than three professional firms deemed to be the most highly qualified to provide the services required, and shall commence scope of service and price negotiations with the highest qualified professional firm for architectural or engineering services or both. Should the agency be unable to negotiate a satisfactory contract with the professional firm considered to be the most qualified, at a fee determined to be fair and reasonable, price negotiations with the firm of second choice shall commence. Failing accord with the second most

qualified professional firm, the committee shall undertake price negotiations with the third most qualified professional firm. Should the agency be unable to negotiate a satisfactory contract with any of the selected professional firms, it shall select additional professional firms in order of their competence and qualifications and it shall continue negotiations in accordance with this section until an agreement is reached."

- b) The evaluation criteria and assigned point values are as follows:

Scoring Criteria

Category	Points
1. History and credentials of firm	40
2. History of completing similar projects	40
3. Oral Interview	20

STATE OF WEST VIRGINIA
Purchasing Division

PURCHASING AFFIDAVIT

VENDOR OWING A DEBT TO THE STATE:

West Virginia Code §5A-3-10a provides that: No contract or renewal of any contract may be awarded by the state or any of its political subdivisions to any vendor or prospective vendor when the vendor or prospective vendor or a related party to the vendor or prospective vendor is a debtor and the debt owed is an amount greater than one thousand dollars in the aggregate.

PUBLIC IMPROVEMENT CONTRACTS & DRUG-FREE WORKPLACE ACT:

West Virginia Code §21-1D-5 provides that: Any solicitation for a public improvement construction contract shall require each vendor that submits a bid for the work to submit at the same time an affidavit that the vendor has a written plan for a drug-free workplace policy in compliance with Article 1D, Chapter 21 of the West Virginia Code. A public improvement construction contract may not be awarded to a vendor who does not have a written plan for a drug-free workplace policy in compliance with Article 1D, Chapter 21 of the West Virginia Code and who has not submitted that plan to the appropriate contracting authority in timely fashion. For a vendor who is a subcontractor, compliance with Section 5, Article 1D, Chapter 21 of the West Virginia Code may take place before their work on the public improvement is begun.

ANTITRUST:

In submitting a bid to any agency for the state of West Virginia, the bidder offers and agrees that if the bid is accepted the bidder will convey, sell, assign or transfer to the state of West Virginia all rights, title and interest in and to all causes of action it may now or hereafter acquire under the antitrust laws of the United States and the state of West Virginia for price fixing and/or unreasonable restraints of trade relating to the particular commodities or services purchased or acquired by the state of West Virginia. Such assignment shall be made and become effective at the time the purchasing agency tenders the initial payment to the bidder

I certify that this bid is made without prior understanding, agreement, or connection with any corporation, firm, limited liability company, partnership or person or entity submitting a bid for the same materials, supplies, equipment or services and is in all respects fair and without collusion or fraud. I further certify that I am authorized to sign the certification on behalf of the bidder or this bid.

LICENSING:

Vendors must be licensed and in good standing in accordance with any and all state and local laws and requirements by any state or local agency of West Virginia, including, but not limited to, the West Virginia Secretary of State's Office, the West Virginia Tax Department, West Virginia Insurance Commission, or any other state agencies or political subdivision. Furthermore, the vendor must provide all necessary releases to obtain information to enable the Director or spending unit to verify that the vendor is licensed and in good standing with the above entities.

CONFIDENTIALITY:

The vendor agrees that he or she will not disclose to anyone, directly or indirectly, any such personally identifiable information or other confidential information gained from the agency, unless the individual who is the subject of the information consents to the disclosure in writing or the disclosure is made pursuant to the agency's policies, procedures and rules. Vendors should visit www.state.wv.us/admin/purchase/privacy for the Notice of Agency Confidentiality Policies.

Under penalty of law for false swearing (West Virginia Code §61-5-3), it is hereby certified that the vendor acknowledges the information in this said affidavit and is in compliance with the requirements as stated.

Vendor's Name: _____

Authorized Signature: _____ Date: _____



State of West Virginia
 Department of Administration
 Purchasing Division
 2019 Washington Street East
 Post Office Box 50130
 Charleston, WV 25305-0130

Request for Quotation

RFQ NUMBER
 DNR209057

PAGE
 1

ADDRESS CORRESPONDENCE TO ATTENTION OF
 FRANK WHITTAKER
 304-558-2316

VENDOR

RFQ COPY
 TYPE NAME/ADDRESS HERE

Baker

MICHAEL BAKER JR., INC.
 5088 West Washington Street
 Charleston, WV 25313

SHIP TO

DIVISION OF NATURAL RESOURCES
 PARKS & RECREATION SECTION
 BUILDING 3, ROOM 719
 1900 KANAWHA BOULEVARD, EAST
 CHARLESTON, WV
 25305-0662 304-558-2775

DATE PRINTED	TERMS OF SALE	SHIP VIA	F.O.B.	FREIGHT TERMS
12/01/2008				

BID OPENING DATE: 12/09/2008 BID OPENING TIME 01:30PM

LINE	QUANTITY	UOP	CAT NO	ITEM NUMBER	UNIT PRICE	AMOUNT
***** ADDENDUM NO. 1 *****						
THIS ADDENDUM IS ISSUED TO PROVIDE THE ATTACHED VENDOR TECHNICAL QUESTIONS, AND AGENCY RESPONSES.						
BID OPENING DATE AND TIME REMAIN: 12/09/08 AT 1:30 PM						
0001	1	LS		906-00-00-001		
ARCHITECT/ENGINEERING SERVICES, PROFESSIONAL						
***** THIS IS THE END OF RFQ DNR209057 ***** TOTAL: _____						

SEE REVERSE SIDE FOR TERMS AND CONDITIONS

SIGNATURE <i>Samuel Hall</i>	TELEPHONE 304 769 0821	DATE 12/8/08
TITLE Asst Vice Pres	FEIN 251228638	ADDRESS CHANGES TO BE NOTED ABOVE

WHEN RESPONDING TO RFQ, INSERT NAME AND ADDRESS IN SPACE ABOVE LABELED 'VENDOR'

**GENERAL TERMS & CONDITIONS
REQUEST FOR QUOTATION (RFQ) AND REQUEST FOR PROPOSAL (RFP)**

1. Awards will be made in the best interest of the State of West Virginia.
2. The State may accept or reject in part, or in whole, any bid.
3. All quotations are governed by the *West Virginia Code* and the *Legislative Rules* of the Purchasing Division.
4. Prior to any award, the apparent successful vendor must be properly registered with the Purchasing Division and have paid the required \$125 fee.
5. All services performed or goods delivered under State Purchase Order/Contracts are to be continued for the term of the Purchase Order/Contracts, contingent upon funds being appropriated by the Legislature or otherwise being made available. In the event funds are not appropriated or otherwise available for these services or goods, this Purchase Order/Contract becomes void and of no effect after June 30.
6. Payment may only be made after the delivery and acceptance of goods or services.
7. Interest may be paid for late payment in accordance with the *West Virginia Code*.
8. Vendor preference will be granted upon written request in accordance with the *West Virginia Code*.
9. The State of West Virginia is exempt from federal and state taxes and will not pay or reimburse such taxes.
10. The Director of Purchasing may cancel any Purchase Order/Contract upon 30 days written notice to the seller.
11. The laws of the State of West Virginia and the *Legislative Rules* of the Purchasing Division shall govern all rights and duties under the Contract, including without limitation the validity of this Purchase Order/Contract.
12. Any reference to automatic renewal is hereby deleted. The Contract may be renewed only upon mutual written agreement of the parties.
13. **BANKRUPTCY:** In the event the vendor/contractor files for bankruptcy protection, this Contract may be deemed null and void, and terminated without further order.
14. **HIPAA BUSINESS ASSOCIATE ADDENDUM:** The West Virginia State Government HIPAA Business Associate Addendum (BAA), approved by the Attorney General, and available online at the Purchasing Division's web site (<http://www.state.wv.us/admin/purchase/vrc/hipaa.htm>) is hereby made part of the agreement. Provided that, the Agency meets the definition of a Cover Entity (45 CFR §160.103) and will be disclosing Protected Health Information (45 CFR §160.103) to the vendor.
15. **WEST VIRGINIA ALCOHOL & DRUG-FREE WORKPLACE ACT:** If this Contract constitutes a public improvement construction contract as set forth in Article 1D, Chapter 21 of the West Virginia Code ("The West Virginia Alcohol and Drug-Free Workplace Act"), then the following language shall hereby become part of this Contract: "The contractor and its subcontractors shall implement and maintain a written drug-free workplace policy in compliance with the West Virginia Alcohol and Drug-Free Workplace Act, as set forth in Article 1D, Chapter 21 of the West Virginia Code. The contractor and its subcontractors shall provide a sworn statement in writing, under the penalties of perjury, that they maintain a valid drug-free work place policy in compliance with the West Virginia and Drug-Free Workplace Act. It is understood and agreed that this Contract shall be cancelled by the awarding authority if the Contractor: 1) Fails to implement its drug-free workplace policy; 2) Fails to provide information regarding implementation of the contractor's drug-free workplace policy at the request of the public authority; or 3) Provides to the public authority false information regarding the contractor's drug-free workplace policy."

INSTRUCTIONS TO BIDDERS

1. Use the quotation forms provided by the Purchasing Division.
2. **SPECIFICATIONS:** Items offered must be in compliance with the specifications. Any deviation from the specifications must be clearly indicated by the bidder. Alternates offered by the bidder as **EQUAL** to the specifications must be clearly defined. A bidder offering an alternate should attach complete specifications and literature to the bid. The Purchasing Division may waive minor deviations to specifications.
3. Complete all sections of the quotation form.
4. Unit prices shall prevail in case of discrepancy.
5. All quotations are considered F.O.B. destination unless alternate shipping terms are clearly identified in the quotation.
6. **BID SUBMISSION:** All quotations must be delivered by the bidder to the office listed below prior to the date and time of the bid opening. Failure of the bidder to deliver the quotations on time will result in bid disqualifications: Department of Administration, Purchasing Division, 2019 Washington Street East, P.O. Box 50130, Charleston, WV 25305-0130

Answers to questions received for DNR209057 are listed below: (answers are in bold)

Questions by Victor R. Greco

-In item 3.2 the project description mentions "provide necessary professional architectural, engineering services and related services to plan and construct an expansion..."

Does this indicate that the AE firm is to also consider a design build delivery or will the project be more traditional design, bid and construction administer the project?

Project is planned to be traditional design, bid and construct.

-In the past has there been a master plan and or preliminary planning been performed for the project (incl. cost estimates)? If so, is any of this documentation available for review?

No relative master plan exists. A copy of a recent study is attached that may provide additional information. This very preliminary study was performed by Woolpert, Inc and is dated December 13, 2007. It is not the basis on which future decisions, concerning this project will be made, nor is intended to include all improvements or renovations that may or may not be developed with the firm chosen to provide the professional services for which this EOI is advertised. All costs have been removed from the study. A budget for the construction of this project has not been determined.

-Is the fitness center, full service spa and indoor swimming pool included in the new addition or is this renovation of existing facilities or a combination?

This would be a new addition.

-In item 3.2 the project description mentions "improve the HVAC in the existing lodge". Is this a complete replacement of existing systems or will this be a partial replacement, partial renovation? If it is the latter what type of systems are in use (i.e. boiler heat, forced air, etc.)?

This will be determined with the chosen firm.

-will the kitchen renovation within the existing lodge be a complete or partial renovation?

This will be determined with the chosen firm.

Questions from The Benham Companies, LLC

When was the existing lodge constructed?

Approximately 1955

Have there been significant renovations?

Yes, a conference room was added in 1999 among other renovations.

Are construction drawings available?

Yes, documentation of the facility is through. Complete plans will be provided to the chosen firm. Attached are digital files of selected sheets of recent plans of the conference addition. They provide more than is necessary at this point to give an over view of the lodge. Note that not all improvements planned and indicated in the attached sheets were constructed.

What is the existing water supply demand?

See the attached Woolpert Study.

Has a new water supply study been completed?

No.

Have new water supply wells been sited?

No.

What is the existing wastewater treatment plant average daily flow?

Average flow is not known. Maximum permitted flow presently is 50,000gpd

Where does the treated wastewater effluent discharge?

Indian Run of Sleepy Creek

What is the expiration for the existing discharge permit?

5/13/09

What technology is presently used to treat the wastewater?

Extended Aeration

Questions from Chapman Technical Group

Regarding RFQ DNR209057, the Cacapon State Park project, what is the nature of the renovations to the golf course bunkers?

Most improvements to the Golf Course will be related to drainage.

Regarding RFQ DNR209057, the Cacapon State Park project, is the existing lodge design considered significant or historic? In designing the addition, is it desirable keep a similar architectural style, or is it more desirable to develop a completely different style for the existing lodge and addition?

The existing lodge is not on any list of historic structures. However, any planned addition will respect the existing Architecture and will be submitted for comment to SHPO and the Division of Culture and History.

Questions from Michelle Semanoff

Are we selecting furniture for the project?

That service may or may not be included in the scope of the services for this project and will be determined through negotiations with the firm.

Will a comprehensive Golf Course Master plan be developed to help describe the proposed improvements?

That service is not likely to be the result of this EOI

What is the square footage of the existing building?

Approximately 52,000 sqft.

Are there existing drawings and a floor plan? If so, can the floor plan be provided?

See attachments.

What is the construction budget?

There is not any money currently budgeted for the project, other than for A/E fees. A reasonable project budget will be developed with the chosen firm.

Will the expansion of the dining room be in the existing facility or will there be an addition?

That will be determined with the chosen firm.

What size pool is being proposed?

The pool size will be determined with the chosen firm. A pool was planned with the 1999 additions but not constructed.

What elements of a spa are you considering and how many customers should be accommodated?

This will be determined with the existing firm. A small spa was planned with the 1999 addition but not constructed. A larger spa offering more amenities will likely be planned with this project.

Questions from Grove & Dall'olio Architects

Will any of the existing rooms or cabins be renovated?

There are presently not renovations planned to the existing cabins or rooms with this project.

What is the schedule for the construction?

While these much needed improvements to Cacapon Resort State Park are not presently funded beyond those funds necessary to procure the A/E services, there is no present funding or schedule for construction.

Questions submitted by Gene Weissman

Is it possible to arrange a tour of the facility with the park staff prior to the Bid Opening Date? If so, can you please provide contact information.

You may visit the park at any time. No official tour will be conducted. Cacapon Resort State Park may be contacted via telephone at (304) 258-6691 for directions to the park. Specific information regarding this EOI is not available from the park.

Are there any additional details you can provide regarding the full service spa & fitness components of the project (i.e. size, program, etc.)?

Specifics of what will be provided with the full service spa will be determined with the chosen firm. However, we hope to provide massage therapy as well as facials and body treatments in addition to an exercise /fitness center.

Is the intent for the facility to remain in operation or partially in operation during construction?

The facility will remain in operation during the construction.

Related to No. 3 above, will the existing wastewater treatment facilities remain in operation during construction?

The existing wastewater treatment facilities must remain in operation during the construction.

Would it be possible to expand upon the portion of the scope described as improving the existing HVAC system in the existing lodge?

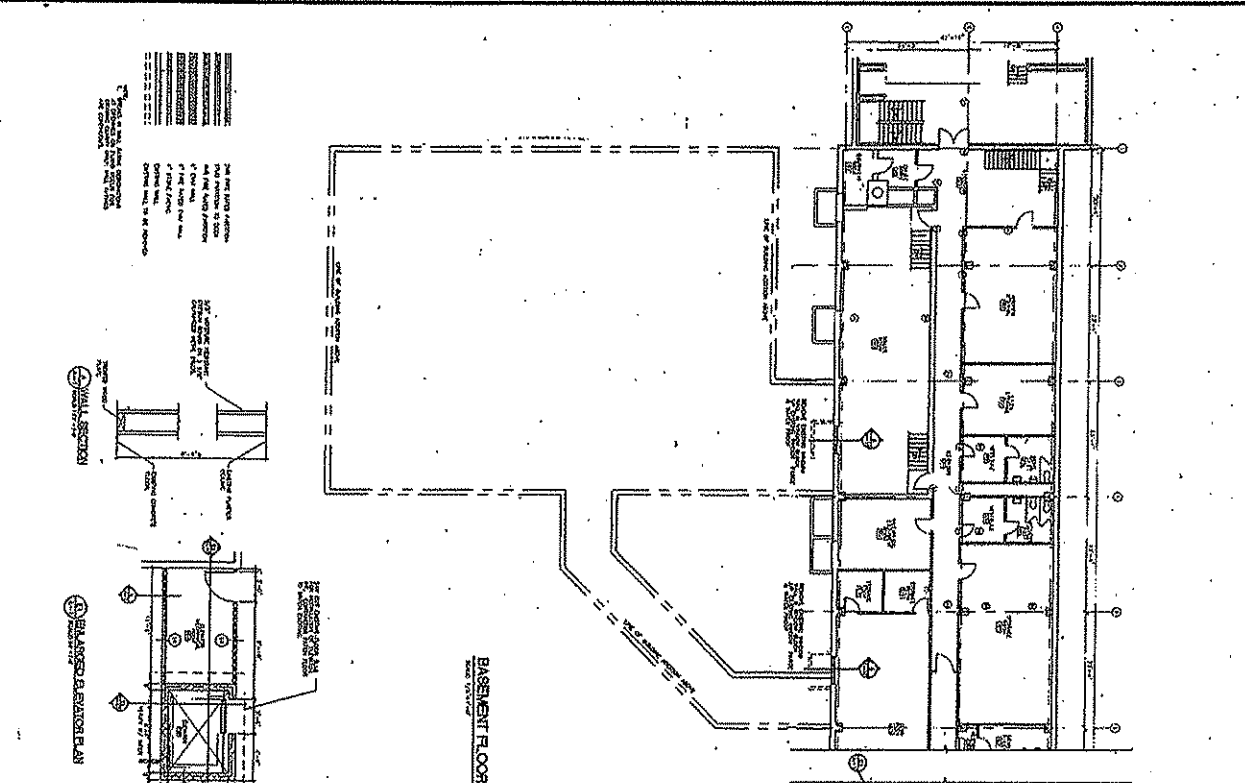
The existing lodge has a single pipe boiler/chiller system. We are interested in exploring methods to improve or upgrade this system with the chosen firm.

What is the current capacity of the existing water and wastewater treatment plants?

This is answered by an earlier question. The capacity is 50,000 gpd.

Is there a rough schedule of when the project will commence (design & construction)?

Design is funded presently. The construction is not funded at this time.



ROOM FINISH SCHEDULE

NO.	ROOM NAME	FLOOR	WALL	CEILING	FLOOR	DOOR	WALL	WALL
101	MECHANICAL ROOM	B	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
102	STAIR	B	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
103	STAIR	B	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
104	STAIR	B	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
105	STAIR	B	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
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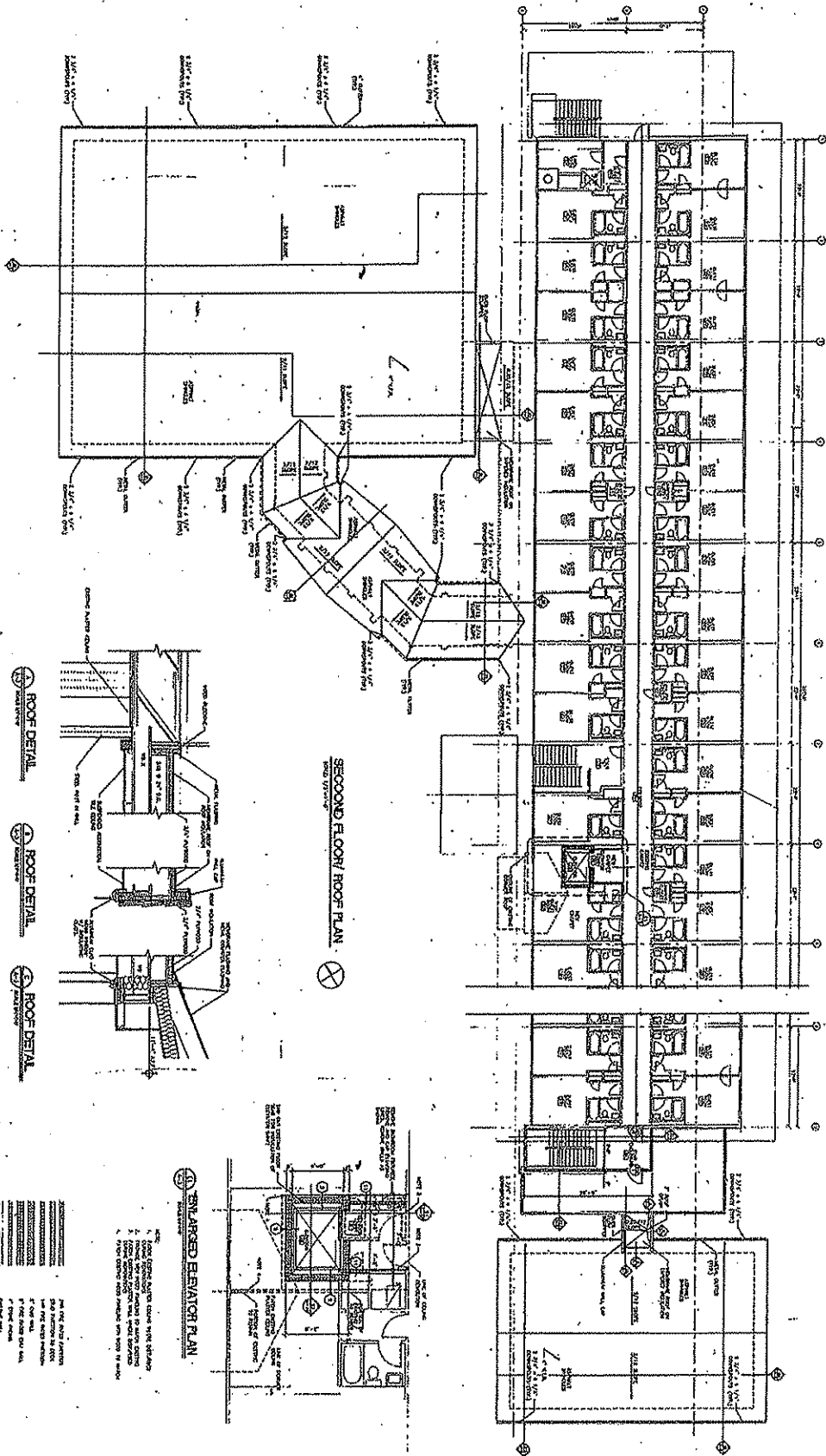
NOTES:
 1. ROOM FINISH SCHEDULE, SEE PLAN & SPECIFICATIONS.
 2. ROOM FINISH SCHEDULE & ROOM FINISH SCHEDULE, SEE PLAN & SPECIFICATIONS.
 3. ROOM FINISH SCHEDULE, SEE PLAN & SPECIFICATIONS.
 4. ROOM FINISH SCHEDULE, SEE PLAN & SPECIFICATIONS.
 5. ROOM FINISH SCHEDULE, SEE PLAN & SPECIFICATIONS.

CONFERENCE CENTER
ADDITION TO THE
CACAPON STATE PARK LODGE
BERKELEY SPRINGS, WEST VIRGINIA

BASEMENT FLOOR PLAN
 DATE: 10/18/88
 DRAWN BY: [Name]
 CHECKED BY: [Name]

ZMM
 ARCHITECTURAL ENGINEERING
 CONSULTANTS
 1000 BROADWAY
 NEW YORK, N.Y. 10018

NO.	DATE	DESCRIPTION	APPROVED BY	DATE	DESCRIPTION



ROOF DETAIL 1

ROOF DETAIL 2

ROOF DETAIL 3

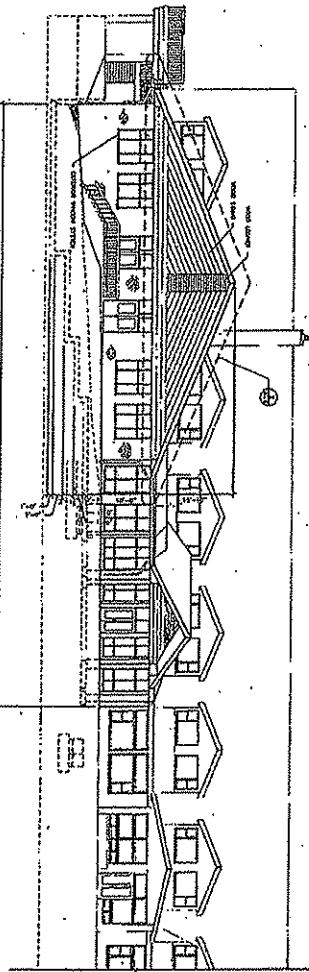
SECOND FLOOR ROOF PLAN

ENLARGED ELEVATOR PLAN

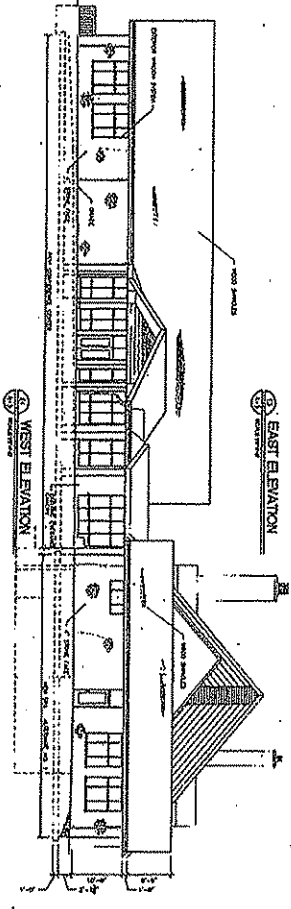
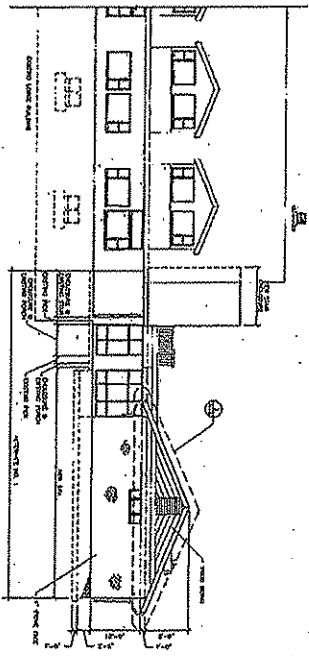
- 1. ROOF STRUCTURE TO BE CONCRETE
- 2. ROOF FINISH TO BE 1/2\"/>

SEE THE ARCHITECT'S SPECIFICATIONS FOR THE ROOF SYSTEM. THE ROOF SHALL BE CONCRETE WITH A FINISH OF 1/2\"/>

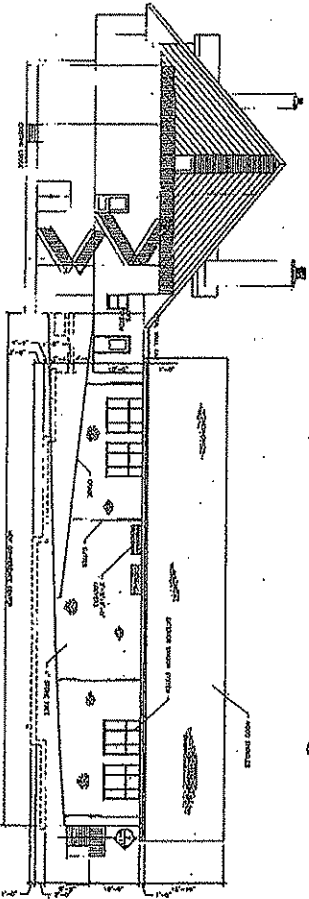
<p>CONFERENCE CENTER ADDITION TO THE CACAPON STATE PARK LODGE BERKELEY SPRINGS, WEST VIRGINIA</p>	<p>ZMM ZIMMERMAN ARCHITECTS 201 E. 10TH STREET MARTINSBURG, WV 26151 PHONE: 304-293-5441 FAX: 304-293-5441</p>	<p>PROJECT NO. 0000000000</p>	<p>DATE: 01/20/00</p>
		<p>PROJECT NO. 0000000000</p>	<p>DATE: 01/20/00</p>
<p>SECOND FLOOR PLAN</p>	<p>SCALE: AS SHOWN</p>	<p>DATE: 01/20/00</p>	<p>BY: JMM</p>



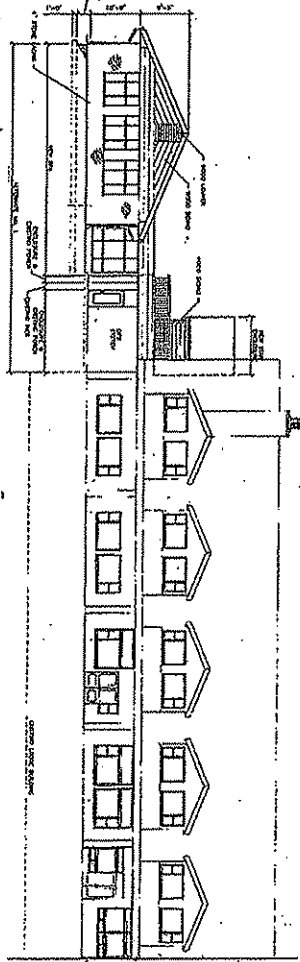
SOUTH ELEVATION



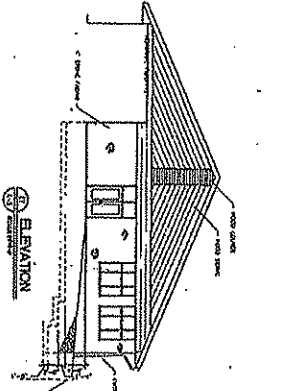
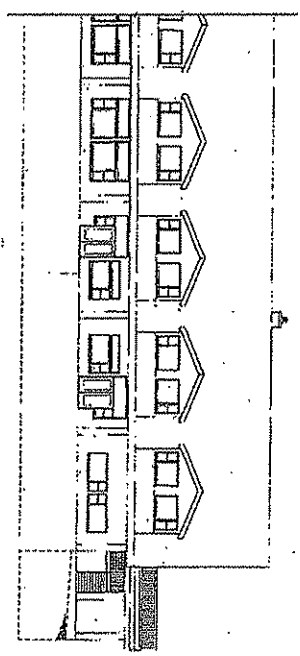
EAST ELEVATION



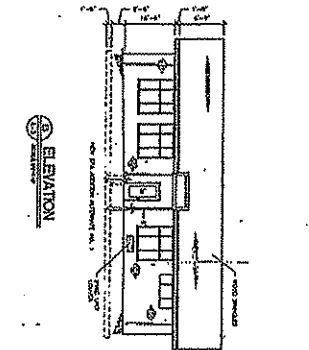
NORTH ELEVATION



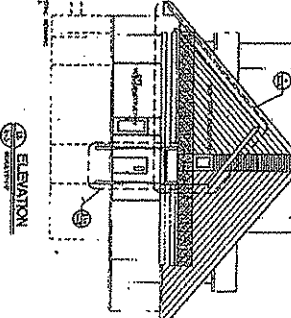
SOUTH ELEVATION



ELEVATION



ELEVATION



ELEVATION

A-5

DATE	1988
SCALE	1/4" = 1'-0"
PROJECT	CONFERENCE CENTER
CLIENT	STATE OF WEST VIRGINIA
ARCHITECT	ZMM

BUILDING ELEVATIONS

**CONFERENCE CENTER
ADDITION TO THE
CACAPON STATE PARK LODGE
BERKELEY SPRINGS, WEST VIRGINIA**

ZMM
ARCHITECTS
2015 EAST 10TH STREET
MARTINSBURG, WV 26151
PHONE: 304-293-3333
FAX: 304-293-3334

REVISION	DATE	DESCRIPTION

SYMBOL	DESCRIPTION

CACAPON RESORT STATE PARK

Berkley Springs, Morgan County, WV

Cost Analysis Report

Various Park Improvements

December 13, 2007

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INTRODUCTION

The purpose of this report is to provide an evaluation of the probable costs for various improvements at Cacapon Resort State Park as requested by the West Virginia Department of Parks and Recreation. The improvements include addition of one hundred guest rooms at the Lodge along with upgrade of other lodge support facilities, improvements to the Golf Course greens, tees and sand bunkers, improvements to the Water Supply System and improvements to the Wastewater Treatment System in support of service for the increased lodging units.

Lodge Improvements

The Lodge improvements are intended to increase the number of lodging rooms available to take advantage of the recent addition of the modern conference room facilities. Other improvements are in support of the conference facilities as well as remodeling and improvements of the resort environment at the park. The following improvements are to be included in the project.

- One hundred guest rooms, common space and elevator. Eighty guest rooms will be basic rooms with approximately 350 square feet of room space and resort style room amenities. Twenty guest rooms will be suite rooms with approximately 400 square feet of room space and additional amenities.
- Connecting corridor between the existing lodge and the new facilities to provide transitional space between the facilities.
- One hundred car asphalt surface parking lot with curbs along with improvements to the existing parking lot.

Room furnishings for the one hundred new guest rooms consisting of two beds, desk, table, two chairs, bureau, refrigerator, microwave, television, night stands, drapery and closet.

Installation of sprinkler system piping in the existing lodge facilities to bring fire safety level up to state building code requirements.

Fitness area equipped with treadmills, aerobic machines, weights, hot tub, pool, massage room and sauna room.

Expanded dining room and kitchen providing additional seating capacity in the dining room along with additional floor space for the kitchen and a lounge adjacent to the dining room.

Upgrade the heating ventilation and air conditioning in the existing lodge by replacement of the stand-up air conditioning units.

- Replace, upgrade and improve the existing kitchen equipment and layout to accommodate the increased dining capacity.
- Outdoor patio equipped with decorative landscaping and furniture overlooking the golf course for use during suitable weather conditions.
- Tables, chairs serving tables to furnish the expanded dining room facilities.

Cost estimates for the proposed improvements are presented in the following table.

Cacapon Resort State Park
Lodge Addition And Improvements
Cost Estimate

Item	Cost
SITE WORK	
Mobilization	
Layout/Stake	
Erosion Control	
Site Utilities	
Site Grading	
Storm Drainage	
Parking/Drives	
Landscaping	
LODGE ADDITIONS/IMPROVEMENTS	
80 Standard Rooms/20 Suites	
Stair Towers	
Elevators	
Room Furnishings	
Corridor Link	
Fitness Center	
Kitchen/Dining Expansion	
Kitchen Equipment Upgrade	
Outdoor Dining	
Existing Building Sprinklers	
Existing Building HVAC Upgrade	
Architect Discretionary Allowance	
Subtotal	
Bonding/Insurance	
Design Fees	
Estimated Project Cost	

Golf Course Improvements

The Golf Course improvements are intended to upgrade the course to the quality level of a resort style course to increase the number of rounds played taking advantage of the enhancements to the lodge facilities. The following improvements are to be included in the project commensurate with a Robert Trent Jones styled course.

Renovate sand bunkers.

- Level teeing areas.

Renovate greens.

Drainage improvements.

Cost estimates for the proposed improvements are presented in the following table.

Cacapon Resort State Park
Golf Course Improvements
Cost Estimate

Item	Cost
Mobilization	
Layout/Stake	
Erosion Control	
Onsite Topsoil	
Rough Shaping	
Storm Drainage	
Golf Drainage	
Greens Replacement	
Tees Leveling/Shaping	
Bunkers Renovation	
Fine Grading	
Seedbed Prep	
Grassing - Seed/Sprigs	
Grassing - Sod	
Demolition Material Disposal	
Architect Discretionary Allowance	
Subtotal	
Bonding/Insurance	
Design Fees	
Estimated Project Cost	

Water Supply System Improvements

The Water Supply System improvements are intended to provide additional water sources to accommodate increased water usage associated with the increased number of lodging rooms, swimming pool, expanded dining facilities and increased golf course usage. The increased water usage associated with the new facilities is anticipated to be approximately 27,000 gallons per day.

The existing source for the park water supply is from two groundwater wells located along the North Fork of Indian Run. These two groundwater wells have been a dependable source of water to meet the existing needs of the park during recent years. Morgan County has changed. The other areas of the park where the dry wells have occurred have been determined to have been impacted by insufficient recharge area to replenish water bearing formations and therefore water tables have dropped within these areas. The water bearing formations and zones lying along the North Fork of Indian Run, however have a larger recharge area than do the locations of the dry wells, therefore it is anticipated that the area along the North Fork of Indian Run will be a sufficient and dependable source of water for current water needs and to supply the needs of the expanded facilities. No public water sources outside the park boundaries have sufficient capacity to meet the water needs of the park, therefore sources within the park will be utilized.

The existing water treatment plant has a total capacity of 230,000 gallons per day using the pressure filtration system. The maximum day usage from treatment plant records is approximately 69,000 gallons with plant operation occurring for 12.5 hours at a rate of 92 gallons per minute. The records indicate that August is the month of the year with the highest average daily usage which is approximately 36,400 gallons per day. Operation of the treatment plant for this August usage level occurs for 7.3 hours per day at an average rate of 83 gallons per minute. Based on these demands, the existing water treatment plant has sufficient capacity to meet current and expanded water needs.

The existing water storage tank located adjacent to the water treatment plant has a storage capacity of 125,000 gallons. Based on a total average daily usage of 63,400 gallons during the peak month for the existing facilities plus the proposed facilities, the water storage tank provides approximately two days storage capacity. Based on this storage capacity, the existing water storage tank has sufficient capacity to meet current and expanded water needs.

In order to conservatively meet the increased water demands without impacting the existing water sources at the two existing wells for the maximum day usage, it is anticipated that the additional 27,000 gallons per day demand can be met with additional well capacity of 40 gallons per minute operating at the 12.5 hours occurring on the peak day. It is anticipated that this additional capacity can be obtained from two additional wells located along the North Fork of Indian Run, one near the park entrance and a second within the area of the lower cabin area. Records from the wells in current use and from 1966 records of an abandoned well below the swimming lake indicate that a single screened well most likely would supply the additional capacity required, however a second additional well is considered to be appropriate for planning due to the inherent uncertainties of hydrogeologic uniformities.

The following improvements are to be included in the project.

- Two groundwater wells and controls.
- New raw water line to the existing water treatment plant.
- Upgrade of existing water treatment plant control system related to new wells.
- Upgrade miscellaneous piping related to new wells.

Cost estimates for the proposed improvements are presented in the following table.

Cacapon Resort State Park
Water System Improvements
Cost Estimate

Item	Cost
Mobilization	
Two Test Wells	
Two Groundwater Wells	
Two Well Pumps and Controls	
Treatment Plant Controls Upgrade	
Treatment Plant Piping Modifications	
Raw Water Line from Wells	
Subtotal	
Bonding/Insurance	
Design Fees	
Estimated Project Cost	

Wastewater Treatment System Improvements

The Wastewater Treatment System improvements are intended to provide additional treatment capacity to accommodate increased water usage associated with the increased number of lodging rooms, swimming pool, expanded dining facilities and increased golf course usage. The increased water usage associated with the new facilities is anticipated to be approximately 27,000 gallons per day. A 30,000 gallons per day packaged wastewater treatment plant similar to the existing wastewater treatment facilities is considered for analysis of costs.

The following improvements are to be included in the project.

- Modify existing flow splitter box to accommodate new treatment plant.
- New packaged wastewater treatment plant.
- Conversion of existing sludge drying beds to tertiary sand filters.
- New ultraviolet disinfection system.

Cost estimates for the proposed improvements are presented in the following table.

Cacapon Resort State Park
Wastewater System Improvements
Cost Estimate

Item	Cost
Mobilization	
Site Grading and Drainage	
Flow Splitter Box Modifications	
Packaged Wastewater Treatment Plant	
Convert Drying Beds to Sand Filters	
UV Disinfection Unit	
Yard Piping	
Electrical System Modifications	
Fencing	
Subtotal	
Bonding/Insurance	
Design Fees	
Estimated Project Cost	

Total Estimated Costs

Total Estimated Costs for the improvements evaluated during this cost analysis are summarized in the following table.

Cacapon Resort State Park
Park Improvements
Total Cost Estimate Summary

Item	Cost
Lodge Addition and Improvements	
Golf Course Renovation	
Water System Improvements	
Wastewater System Improvements	
Estimated Project Cost	