



Department of Administration
Purchasing Division
2019 Washington Street East
Post Office Box 50130
Charleston, WV 25305-0130

State of West Virginia Purchase Order

Order Date: 12-13-2021

CORRECT ORDER NUMBER MUST APPEAR
ON ALL PACKAGES, INVOICES, AND
SHIPPING PAPERS. QUESTIONS
CONCERNING THIS ORDER SHOULD BE
DIRECTED TO THE DEPARTMENT
CONTACT.

Order Number:	CPO 0310 6546 DNR1900000001 16	Procurement Folder:	461208
Document Name:	Parks - Cacapon Lodge Addition and Facility Improvements	Reason for Modification:	Change Order No. 10 is to extend and increase the contract amount per the attached documents.
Document Description:	Change Order No. 10		
Procurement Type:	Central Purchase Order		
Buyer Name:	Guy L Nisbet		
Telephone:	(304) 558-2596		
Email:	guy.l.nisbet@wv.gov		
Shipping Method:	Best Way	Effective Start Date:	2018-09-24
Free on Board:	FOB Dest, Freight Prepaid	Effective End Date:	2021-12-15

VENDOR	DEPARTMENT CONTACT																				
Vendor Customer Code: 000000211095 PARAMOUNT BUILDERS LLC PO BOX 1370 ST ALBANS WV 25177 US Vendor Contact Phone: 304-727-2770 Extension: Discount Details: <table><thead><tr><th></th><th>Discount Allowed</th><th>Discount Percentage</th><th>Discount Days</th></tr></thead><tbody><tr><td>#1</td><td>No</td><td>0.0000</td><td>0</td></tr><tr><td>#2</td><td>Not Entered</td><td></td><td></td></tr><tr><td>#3</td><td>Not Entered</td><td></td><td></td></tr><tr><td>#4</td><td>Not Entered</td><td></td><td></td></tr></tbody></table>		Discount Allowed	Discount Percentage	Discount Days	#1	No	0.0000	0	#2	Not Entered			#3	Not Entered			#4	Not Entered			Requestor Name: James H Adkins Requestor Phone: (304) 558-3397 Requestor Email: jamie.h.adkins@wv.gov 22 FILE LOCATION
	Discount Allowed	Discount Percentage	Discount Days																		
#1	No	0.0000	0																		
#2	Not Entered																				
#3	Not Entered																				
#4	Not Entered																				

INVOICE TO	SHIP TO
DIVISION OF NATURAL RESOURCES PARKS & RECREATION-PEM SECTION 324 4TH AVE SOUTH CHARLESTON WV 25305 US	SUPERINTENDENT DIVISION OF NATURAL RESOURCES CACAPON RESORT STATE PARK 818 CACAPON LODGE DR BERKELEY SPRINGS WV 25411 US

12-14-21 BAX

Purchasing Division's File Copy

Total Order Amount: \$30,530,366.42

ENTERED

PURCHASING DIVISION AUTHORIZATION DATE: Linda Harper 12/13/2021 ELECTRONIC SIGNATURE ON FILE	ATTORNEY GENERAL APPROVAL AS TO FORM DATE: John S. Gray ELECTRONIC SIGNATURE ON FILE	ENCUMBRANCE CERTIFICATION DATE: Beverly Tiller 12-15-21 ELECTRONIC SIGNATURE ON FILE
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12/15/2021

Extended Description:

Change Order

Change Order No. 10 issued to extend by 166 days and increase the contract by \$60,360.47 to address unknown conditions found during construction and to reconcile changes desired in the contract by the owner and the contractor.

Effective: 07/03/21

Original Contract Amount: \$28,410,600.00
 Change Order No. 01: -0-
 Change Order No. 02: \$228,561.61
 Change Order No. 03: \$25,068.33
 Change Order No. 04: \$401,961.37
 Change Order No. 05: \$138,072.29
 Change Order No. 06: \$60,293.40
 Change Order No. 07: \$312,157.33
 Change Order No. 08: \$674,378.66
 Change Order No. 09: \$218,912.96
 Change Order No. 10: \$ 60,360.47

\$30,530,366.42

No other changes.

All provisions of the original contract and subsequent change orders not modified herein shall remain in full force and effect.

Line	Commodity Code	Quantity	Unit	Unit Price	Total Price
1	72000000	0.00000		0.000000	28410600.00
Service From	Service To	Manufacturer	Model No		
2018-09-24	2021-12-15				

Commodity Line Description: Commercial Building Construction Services

Extended Description:

Change Order No. 01 to address site conditions changes, State Fire Marshal Office requirements and to correct and electrical service defect.

Line	Commodity Code	Quantity	Unit	Unit Price	Total Price
10	72000000	0.00000		0.000000	60360.47
Service From	Service To	Manufacturer	Model No		

Commodity Line Description: Building and Facility Construction and Maintenance Services

Extended Description:

Change Order No. 10

Line	Commodity Code	Quantity	Unit	Unit Price	Total Price
2	72000000	0.00000		0.000000	228561.61
Service From	Service To	Manufacturer	Model No		

Commodity Line Description: Building and Facility Construction and Maintenance Services

Extended Description:

Change Order No. 02 to

Line	Commodity Code	Quantity	Unit	Unit Price	Total Price
3	72000000	0.00000		0.000000	25068.33
Service From	Service To	Manufacturer		Model No	

Commodity Line Description: Building and Facility Construction and Maintenance Services

Extended Description:
Change Order No. 03

Line	Commodity Code	Quantity	Unit	Unit Price	Total Price
4	72000000	0.00000		0.000000	401961.37
Service From	Service To	Manufacturer		Model No	

Commodity Line Description: Building and Facility Construction and Maintenance Services

Extended Description:
Change Order No. 04

Line	Commodity Code	Quantity	Unit	Unit Price	Total Price
5	72000000	0.00000		0.000000	138072.29
Service From	Service To	Manufacturer		Model No	

Commodity Line Description: Building and Facility Construction and Maintenance Services

Extended Description:
Change Order No. 05

Line	Commodity Code	Quantity	Unit	Unit Price	Total Price
6	72000000	0.00000		0.000000	60293.40
Service From	Service To	Manufacturer		Model No	

Commodity Line Description: Building and Facility Construction and Maintenance Services

Extended Description:
Change Order No. 06

Line	Commodity Code	Quantity	Unit	Unit Price	Total Price
7	72000000	0.00000		0.000000	312157.33
Service From	Service To	Manufacturer		Model No	

Commodity Line Description: Building and Facility Construction and Maintenance Services

Extended Description:
Change Order No. 07

Line	Commodity Code	Quantity	Unit	Unit Price	Total Price
8	72000000	0.00000		0.000000	674378.66
Service From	Service To	Manufacturer		Model No	

Commodity Line Description: Building and Facility Construction and Maintenance Services

Extended Description:
Change Order No. 08

Line	Commodity Code	Quantity	Unit	Unit Price	Total Price
9	72000000	0.00000		0.000000	218912.96
Service From	Service To	Manufacturer	Model No		

Commodity Line Description: Building and Facility Construction and Maintenance Services

Extended Description:
Change Order No. 09



APPROVED
[Signature]
12/9/21

DIVISION OF NATURAL RESOURCES
PARKS AND RECREATION
324 4th Avenue
South Charleston, West Virginia 25303-1228
Telephone 304-558-2764
Fax 304-558-0077

Stephen S. McDaniel
Director

MEMORANDUM

TO: Jamie Adkins
Chief Procurement Officer

FROM: Carolyn Mansberger *Carolyn Mansberger*
Construction Project Manager
October 29, 2021

SUBJECT: Cacapon Resort State Park - Lodge Addition and Renovations
CPO DNR 1900000001, folder #461208, Change Order #10

The attached Change Order #10 is submitted for your review and processing. This change order is necessary due to unforeseen conditions and safety concerns during the renovation of Cacapon Resort Lodge. Explanations for each COP are provided below.

This change order has two purposes:

1. To increase the contract time by 166 days. The new Substantial Completion date will be December 15, 2021.

2. To increase the contract by \$60,360.47 due to the following Cost Order Proposals.

Cost Proposal: COR 16R2 - Hydronic Pump Revisions per Submittal #148 / RFI #63 (\$4,536.22)

Credit is given for the hydronic pumps due to performance properties and pump operation changes.

Cost Proposal: COR 115 - Added Data Drops at Reception Desk \$2,856.49 Four additional data drops are needed to operate credit card machines at the Reception Desk.

Cost Proposal: COR 116 - Existing Lodge - Sanitary Riser Relocation \$4,927.10

Existing sanitary and water riser are not in the location where indicated on existing Lodge plans. Riser needs to be relocated against exterior wall to avoid being in the guest area of Lobby 143.

Cost Proposal: COR 117 - RFI #261 Attic Ladder in Existing Lodge \$3,934.37.

For safety of employees that change HVAC filters, an additional ladder section needs added for an easier access to the attic walkway.

Cost Proposal: COR 119 - RFI #220 - Electrical Revisions - Existing Panels HB & HC \$1,246.73

Existing electrical panels on the Second floor of the existing Lodge that were used to feed the old guest room wall heaters have no neutral in the panels. Electrician needs to add two pole breakers in one panel and add a small single-phase subpanel beside the other panel to accommodate the new circuits and relocated circuits.

Cost Proposal: COR 121 - RFI #270 - Attic Ladder in New Lodge \$2,632.99

An Additional small ladder needs installed at the New Lodge attic access. Concerns by the Owner was raised about safety of employees due to movement from the ladder to the attic catwalk.

Cost Proposal: COR 123 - RFI #286 - Structural Lintel for Mechanical Diffusers \$3,013.50

A wall that was shown on the existing Lodge plans as studs was actually a CMU wall. A lintel needs to be installed in the wall so a mechanical louver can pass through.

Cost Proposal: COR 124 – RFI #301 – Door G007A Schedule \$1,837.65
Hardware for Door G007A was not scheduled. A hardware set will need to be selected and installed.

Cost Proposal: COR 127 – RFI #300 - Pergola Cross Bracing \$1,616.81
Once the pergola was erected; it was determined in the field that additional cross bracing is needed to keep the structure from wracking under wind loads.

Cost Proposal: COR 129 – RFI #255 – Room 251 & 251A Receptacles, Switches, Fixtures \$1,303.57
There are no provisions for electric in Rooms 251A and 251. Electrical and lighting need added to these rooms.

Cost Proposal: COR 130 – RFI #278 – Existing Lodge – Gable Framed Walls \$10,689.68
At the south exterior stair during the demolition work, it was discovered that the gable walls were bearing on the stair patio and were not continuous to grade as the existing lodge drawings showed. The Contractor needs to frame in and patch the existing walls because of this issue.

Cost Proposal: COR 131 – RFI #198 – Existing Lodge – Overhead Repairs \$3,896.47
The Contractor revealed to the Owner that the north gable end of roof at the Existing Lodge was rotted and was not being supported. Owner asked Contractor to provide pricing to repair the roof. Roof needs repaired.

Cost Proposal: COR 134 – RFI #293 – Basement UV GWB Chase \$7,391.93
Installed in the Existing Lodge basement are four new unit ventilators. These units have lines that need to go into the ceiling. They are located in public spaces, and it was determined that chases need to be built to enclose these lines.

Cost Proposal: COR 136 – RFI #269 – Basement Office & Club Room Ceiling Clarification \$8,634.90
Due to the extensive additional ceiling demolition that was required due to the unforeseen asbestos abatement. The ceilings were completely demolished, and new ceilings need installed.

Cost Proposal: COR 138 – Additional Ground Floor Data Drops \$3,999.33
Owner requested Contractor to provide and install conduit, boxes, cable, and terminations for ten point-of-sales and printer locations in kitchen, dining, bar, and spa areas.

Cost Proposal: COR 140 – RFI #241 & 251 South Patio Downspout to Storm Drain \$6,915.17
Originally designed as a scupper daylighting the storm water off the south stair patio towards the east sitting patio, it was determined in the field that a better course of action is to tie into the existing storm lines. The exact locations are unknown therefore the Contractor must locate them and then tie the downspouts into the existing storm system.

Cost Proposal: COR 145R2 – Exterior Door Change Time Extension – 70 calendar days \$0.00
Manufacturer's delay in delivery of doors

In Summary: Previous Change Orders 1 through 9 increased the contract by \$2,059,405.95
This Change Order # 10 increases the contract by \$60,360.47 resulting in a new contract sum of \$30,530,366.42 for Paramount Builders, LLC. with new substantial completion date of December 15, 2021. Please excuse that this is more than 20 days past the contract expiration date.

Attachments

cc:

Brad Reed, Chief
Barrow Kolosky, Engineer
Paul Redford, District Administrator

Scott Fortney, Superintendent
Kelly Smith, Assistant Superintendent
Paul Walker, Paradigm Architecture

27 July 2021

Mr. Bradley S. Leslie, PE
WV Division of Natural Resources
324 4th Avenue
South Charleston, WV 25303

Re: Cacapon Resort Lodge Addition – Change Order 10

Dear Brad:

The following is a brief explanation of each item associated with Change Order 10 submitted by Paramount Builders.

COR 16R2 – Hydronic Pump Revisions per Submittal #148/RFI #63 **(\$4,536.22)**

Credit is giving for the hydronic pumps due to performance properties and pump operation changes.

COR 115 – Added Data Drops at Reception Desk **\$2,856.49**

Owner-requested four additional data drops for credit card machines that need to be utilized at the Reception Desk.

COR 116 – Existing Lodge – Sanitary Riser Relocation **\$4,927.10**

Existing sanitary and water riser are not in the location where indicated on existing plans. Riser needs to be relocated against exterior wall to avoid being in the guest area of Lobby 143.

COR 117 – RFI #261 – Attic Ladder in Existing Lodge **\$3,934.37**

For safety of employees that need to change HVAC filters, an additional ladder section needs added for an easier access to the attic walkway.

COR 119 – RFI #220 – Electrical Revisions – Existing Panels HB & HC **\$1,246.73**

Existing electrical panels on the Second Floor of the existing Lodge that were used to feed the old guest room wall heaters have no neutral in the panels. Electrician needs to add two pole breakers in one panel and add a small single-phase subpanel beside the other panel to accommodate the new circuits and relocated circuits.

COR 121 – RFI #270 – Attic Ladder in New Lodge **\$2,632.99**

Owner-requested an additional small ladder be installed at the New Lodge attic access. Concerns by the Owner was raised about safety of employees due to movement from the ladder to the attic catwalk.

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A wall that was shown on the existing plans as studs was actual a CMU wall. A lintel needs to be installed in the wall so a mechanical louver can pass through.

COR 124 – RFI #301 – Door G007A Schedule **\$1,837.65**

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COR 127 – RFI #300 – Pergola Cross Bracing **\$1,616.81**

Once the pergola was erected, it was determined in field that additional cross bracing is needed to keep the structure from wracking under wind loads.

2223 Cheat Road | Suite 300 2450 Valleydale Road | Suite 150
Morgantown, WV 26508 Birmingham, AL 35244
T 304.284.5015 | F 304.284.5014 T 205.403.2742 | F 205.403.2743

COR 129 – RFI #255 – Room 251 & 251A Receptacles, Switches, & Fixtures **\$1,303.57**

There are no provisions for electric in Rooms 251A and 251. Electrical and lighting need added to these rooms.

COR 130 – RFI #278 – Existing Lodge – Gable-Framed Walls **\$10,689.68**

At the south exterior stair during the demolition work, it was discovered that the gable walls were bearing on the stair patio and were not continuous to grade as the existing drawings showed. The Contractor needs to frame in and patch the existing walls because of this issue.

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Installed in the Existing Lodge basement are four new unit ventilators. These units have lines that need to go into the ceiling. They are located in public spaces, and it was determined that chases need to be built to enclose these lines.

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Due to the extensive/additional ceiling demolition that was required due to the unforeseen asbestos abatement. The ceilings were completely demolished, and new ceilings need installed.

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Owner-requested Contractor to provide and install conduit, boxes, cable, and terminations for ten point-of-sales and printer locations in kitchen, dining, bar, and spa areas.

COR 140 – RFI #241 & 251 South Patio Downspout to Storm Drain **\$6,915.17**

Originally designed as a scupper daylighting the storm water off the south stair patio towards the east sitting patio, it was determined in field that a better course of action is to tie into the existing storm lines. The exact locations are unknown therefore the Contractor must locate them and then tie the downspouts into the existing storm system.

COR 145R2 – Exterior Door Change Time Extension – 70 calendar days **\$-0-**

Manufacturer's delay in delivery of doors.

TOTAL **\$60,360.47**

The cost of labor and materials for these change order requests have been reviewed and we believe the costs are justified.

Best regards,



Paul A. Walker, AIA, President

Attachments: CORs 16R2, 115, 116, 117, 119, 121, 123, 124, 127, 129, 130, 131, 134, 136, 138, 140, 145R2

Increase PENALTY RIDER

BOND AMOUNT \$28,410,600.00

BOND NO. 9286773

To be attached and form a part of Bond No. 9286773 dated the 7th day of August, 2018, executed by Fidelity and Deposit Company of Maryland as surety, on behalf of Paramount Builders, LLC as current principal of record, and in favor of State of West Virginia, as Obligee, and in the amount of Twenty Eight Million Four Hundred Ten Thousand Six Hundred Dollars and 00/100 (\$28,410,600.00).

In consideration of the agreed premium charged for this bond, it is understood and agreed that Fidelity and Deposit Company of Maryland hereby consents that effective from the 27th day of July, 2021, said bond shall be amended as follows:

THE BOND PENALTY SHALL BE Increased:

FROM: Thirty Million Four Hundred Seventy Thousand Five Dollars and 95/100 (\$30,470,005.95)

TO: Thirty Million Five Hundred Thirty Thousand Three Hundred Sixty Six Dollars and 42/100 (\$30,530,366.42)

The Increase of said bond penalty shall be effective as of the 27th day of July, 2021, and does hereby agree that the continuity of protection under said bond subject to changes in penalty shall not be impaired hereby, provided that the aggregate liability of the above mentioned bond shall not exceed the amount of liability assumed by it at the time the act and/or acts of default were committed and in no event shall such liability be cumulative.

Signed, sealed and dated this 30th day of July, 2021.

Paramount Builders, LLC

PRINCIPAL

BY: [Signature]

Fidelity and Deposit Company of Maryland

SURETY

BY: Tammy S. Selbe

Tammy S. Selbe, ATTORNEY-IN-FACT

Surety Phone No. 304-347-0611

THE ABOVE BOND IS HEREBY AGREED TO AND ACCEPTED BY:

WV Division of Natural Resources

OBLIGEE

BY: [Signature]

Director

TITLE

ACKNOWLEDGMENTS

Acknowledgment by Principal if individual or Partnership

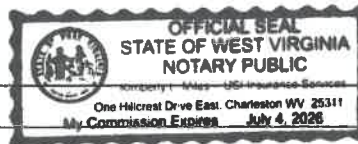
1. STATE OF _____
2. County of _____ to-wit: _____
3. I, _____, a Notary Public in and for the
4. county and state aforesaid, do hereby certify that _____
whose name is signed to the foregoing writing, has this day acknowledged the same before me in my said county.
5. Given under my hand this _____ day of _____
6. Notary Seal _____ 7. _____
(Notary Public)
8. My commission expires on the _____ day of _____

Acknowledgment by Principal if Corporation

9. STATE OF West Virginia
10. County of Kanawha to-wit: _____
11. I, Ryan Bailey, a Notary Public in and for the
12. county and state aforesaid, do hereby certify that Derrick Foster
13. who as, President signed the foregoing writing for
14. a corporation, has this day, in my said county, before me, acknowledged the said writing to be the act and deed of the said corporation.
15. Given under my hand this 30th day of July 2021
16. Notary Seal _____ 17. Ryan A. Bailey
(Notary Public)
18. My commission expires on the June 06 2023 day of _____

Acknowledgment by Surety

19. STATE OF WV
20. County of Kanawha
21. I, Kimberly L. Miles, a Notary Public in and for the
22. county and state aforesaid, do hereby certify that Tammy S. Selbe, Licensed WV Resident Agent
23. who as, Attorney-in-Fact signed the foregoing writing for
24. Fidelity and Deposit Company of Maryland a corporation,
has this day, in my said county, before me, acknowledged the said writing to be the act and deed of the said corporation.
25. Given under my hand this 30th day of July 2021
26. Notary Seal _____ 27. Kimberly L. Miles
(Notary Public)
28. My commission expires on the 4th day of July 2026



Sufficiency in Form and Manner of Execution Approved

This 15th day of Dec 2021

By: John S. [Signature] Attorney General
(Deputy Attorney General)

**ZURICH AMERICAN INSURANCE COMPANY
COLONIAL AMERICAN CASUALTY AND SURETY COMPANY
FIDELITY AND DEPOSIT COMPANY OF MARYLAND
POWER OF ATTORNEY**

KNOW ALL MEN BY THESE PRESENTS: That the ZURICH AMERICAN INSURANCE COMPANY, a corporation of the State of New York, the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY, a corporation of the State of Illinois, and the FIDELITY AND DEPOSIT COMPANY OF MARYLAND a corporation of the State of Illinois (herein collectively called the "Companies"), by **Robert D. Murray, Vice President**, in pursuance of authority granted by Article V, Section 8, of the By-Laws of said Companies, which are set forth on the reverse side hereof and are hereby certified to be in full force and effect on the date hereof, do hereby nominate, constitute, and appoint **Andrew K. TEETER, Jaime L. CARPENTER, Kimberly L. MILES, Douglas P. TAYLOR and Tammy S. SELBE, all of Charleston, West Virginia**, EACH, its true and lawful agent and Attorney-in-Fact, to make, execute, seal and deliver, for, and on its behalf as surety, and as its act and deed: any and all bonds and undertakings, and the execution of such bonds or undertakings in pursuance of these presents, shall be as binding upon said Companies, as fully and amply, to all intents and purposes, as if they had been duly executed and acknowledged by the regularly elected officers of the ZURICH AMERICAN INSURANCE COMPANY at its office in New York, New York., the regularly elected officers of the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY at its office in Owings Mills, Maryland., and the regularly elected officers of the FIDELITY AND DEPOSIT COMPANY OF MARYLAND at its office in Owings Mills, Maryland, in their own proper persons.

The said Vice President does hereby certify that the extract set forth on the reverse side hereof is a true copy of Article V, Section 8, of the By-Laws of said Companies, and is now in force.

IN WITNESS WHEREOF, the said Vice-President has hereunto subscribed his/her names and affixed the Corporate Seals of the said **ZURICH AMERICAN INSURANCE COMPANY, COLONIAL AMERICAN CASUALTY AND SURETY COMPANY, and FIDELITY AND DEPOSIT COMPANY OF MARYLAND**, this 1st day of August, A.D. 2019.



ATTEST:
**ZURICH AMERICAN INSURANCE COMPANY
COLONIAL AMERICAN CASUALTY AND SURETY COMPANY
FIDELITY AND DEPOSIT COMPANY OF MARYLAND**

By: *Robert D. Murray*
Vice President

By: *Dawn E. Brown*
Secretary

**State of Maryland
County of Baltimore**

On this 1st day of August, A.D. 2019, before the subscriber, a Notary Public of the State of Maryland, duly commissioned and qualified, **Robert D. Murray, Vice President and Dawn E. Brown, Secretary** of the Companies, to me personally known to be the individuals and officers described in and who executed the preceding instrument, and acknowledged the execution of same, and being by me duly sworn, depose and saith, that he/she is the said officer of the Company aforesaid, and that the seals affixed to the preceding instrument are the Corporate Seals of said Companies, and that the said Corporate Seals and the signature as such officer were duly affixed and subscribed to the said instrument by the authority and direction of the said Corporations.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my Official Seal the day and year first above written.



Constance A. Dunn, Notary Public
My Commission Expires: July 9, 2023

EXTRACT FROM BY-LAWS OF THE COMPANIES

"Article V, Section 8, Attorneys-in-Fact. The Chief Executive Officer, the President, or any Executive Vice President or Vice President may, by written instrument under the attested corporate seal, appoint attorneys-in-fact with authority to execute bonds, policies, recognizances, stipulations, undertakings, or other like instruments on behalf of the Company, and may authorize any officer or any such attorney-in-fact to affix the corporate seal thereto; and may with or without cause modify or revoke any such appointment or authority at any time."

CERTIFICATE

I, the undersigned, Vice President of the ZURICH AMERICAN INSURANCE COMPANY, the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY, and the FIDELITY AND DEPOSIT COMPANY OF MARYLAND, do hereby certify that the foregoing Power of Attorney is still in full force and effect on the date of this certificate; and I do further certify that Article V, Section 8, of the By-Laws of the Companies is still in force.

This Power of Attorney and Certificate may be signed by facsimile under and by authority of the following resolution of the Board of Directors of the ZURICH AMERICAN INSURANCE COMPANY at a meeting duly called and held on the 15th day of December 1998.

RESOLVED: "That the signature of the President or a Vice President and the attesting signature of a Secretary or an Assistant Secretary and the Seal of the Company may be affixed by facsimile on any Power of Attorney...Any such Power or any certificate thereof bearing such facsimile signature and seal shall be valid and binding on the Company."

This Power of Attorney and Certificate may be signed by facsimile under and by authority of the following resolution of the Board of Directors of the COLONIAL AMERICAN CASUALTY AND SURETY COMPANY at a meeting duly called and held on the 5th day of May, 1994, and the following resolution of the Board of Directors of the FIDELITY AND DEPOSIT COMPANY OF MARYLAND at a meeting duly called and held on the 10th day of May, 1990.

RESOLVED: "That the facsimile or mechanically reproduced seal of the company and facsimile or mechanically reproduced signature of any Vice-President, Secretary, or Assistant Secretary of the Company, whether made heretofore or hereafter, wherever appearing upon a certified copy of any power of attorney issued by the Company, shall be valid and binding upon the Company with the same force and effect as though manually affixed.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and affixed the corporate seals of the said Companies, this 30th day of July, 2021.



By: Brian M. Hodges
Vice President

TO REPORT A CLAIM WITH REGARD TO A SURETY BOND, PLEASE SUBMIT A COMPLETE DESCRIPTION OF THE CLAIM INCLUDING THE PRINCIPAL ON THE BOND, THE BOND NUMBER, AND YOUR CONTACT INFORMATION TO:

Zurich Surety Claims
1299 Zurich Way
Schaumburg, IL 60196-1056
www.reportsfclaims@zurichna.com
800-626-4577

AIA® Document G701™ – 2017

Change Order

PROJECT: <i>(Name and address)</i> Cacapon Resort State Park Lodge Addition Berkeley Springs, West Virginia	CONTRACT INFORMATION: Contract For: General Construction Date: August 07, 2018	CHANGE ORDER INFORMATION: Change Order Number: 10 Date: 7/27/21
OWNER: <i>(Name and address)</i> West Virginia Division of Natural Resources 324 Fourth Avenue South Charleston, WV 25303	ARCHITECT: <i>(Name and address)</i> Paradigm Architecture, Inc. 2223 Cheat Road, Suite 300 Morgantown, WV 26508	CONTRACTOR: <i>(Name and address)</i> Paramount Builders, LLC 501 6th Avenue St. Albans, WV 25177

THE CONTRACT IS CHANGED AS FOLLOWS:

(Insert a detailed description of the change and, if applicable, attach or reference specific exhibits. Also include agreed upon adjustments attributable to executed Construction Change Directives.)

COR 16R2 – Hydronic Pump Revisions per Submittal #148/RFI #63	(\$4,536.22)
COR 115 – Added Data Drops at Reception Desk	\$2,856.49
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COR 131 – RFI #198 – Existing Lodge – Overhead Repairs	\$3,896.47
COR 134 – RFI #293 – Basement UV GWB Chase	\$7,391.93
COR 136 – RFI #269 – Basement Office & Club Room Ceiling Clarification	\$8,634.90
COR 138 – Additional Ground Floor Data Drops	\$3,999.33
COR 140 – RFI #241 & 251 South Patio Downspout to Storm Drain	\$6,915.17
COR 145R2 – Exterior Door Change Time Extension – 70 calendar days	\$ -0-

TOTAL: \$60,360.47

Time Extension Request Letter - 166 calendar days

The original Contract Sum was	\$ 28,410,600.00
The net change by previously authorized Change Orders	\$ 2,059,405.95
The Contract Sum prior to this Change Order was	\$ 30,470,005.95
The Contract Sum will be increased by this Change Order in the amount of	\$ 60,360.47
The new Contract Sum including this Change Order will be	\$ 30,530,366.42

The Contract Time will be increased by One Hundred Sixty-Six (166) days.

The new date of Substantial Completion will be December 15, 2021.

NOTE: This Change Order does not include adjustments to the Contract Sum or Guaranteed Maximum Price, or the Contract Time, that have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Paradigm Architecture, Inc.

Paramount Builders, LLC

West Virginia Division of Natural
Resources

ARCHITECT *(Firm name)*

CONTRACTOR *(Firm name)*

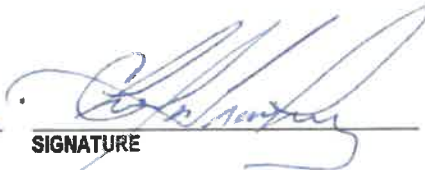
OWNER *(Firm name)*



SIGNATURE

Paul A. Walker, AIA, President
PRINTED NAME AND TITLE

October 29, 2021
DATE



SIGNATURE

C. Travis Arey, Senior PM
PRINTED NAME AND TITLE

October 29, 2021
DATE



SIGNATURE

Stephen S. McDaniel, Director
PRINTED NAME AND TITLE

11/3/2021
DATE



www.paramountwv.com

Paramount Builders LLC
501 6TH Avenue
Post Office Box 1370
St. Albans, West Virginia 25177
WV License #032815

304.727.2770 voice
304.727.0302 fax

October 28, 2021

Steve Konya
Construction Administrator
Paradigm Architecture
2223 Cheat Road, Suite 300
Morgantown, WV 26508

**RE: Cacapon Lodge Addition & Renovation
Time Extension Request**

Mr. Konya,

This letter is a follow up prior conversations regarding the extensions to our contract completion date. This time extension is due to various project delays from unforeseen conditions, including unforeseen changes in the work, added scope of work, crews contracting COVID-19, and unusually long material lead times, etc. As a result of these issues our progress has been significantly delayed and the deadline for our contract completion should be extended to accommodate these delays.

With consideration of the continuing constraints that are caused by the COVID-19 pandemic and material shortages, there is no way to accurately determine the full impact delaying our progress: however, we are requesting that our contract completion date be revised by 166 calendar days from July 2, 2021, to December 15, 2021. We will also keep you advise if the is a chance to better this revised date.

In addition, Paramount currently has several outstanding change order proposals (COP) from both unforeseen and added changes in scope of work. These outstanding proposals for work changes date back to as far as December 2020. The delayed responses to many of these COP's have caused the work to be delayed throughout the project.

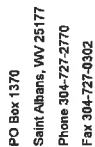
Please feel free to contact me if you have any questions or concerns regarding this request.

Paramount Builders, LLC.

C. Travis Arey
Senior Project Manager

Cc: Mr. Barrow Koslosky & Ms. Carolyn Mansberger – WV DNR
Mr. Derick Foster – Paramount Builder Inc.

Unique From The Ground Up!



COR Cost Estimate

Paramount Job #	181
Paradigm Project #	1732

Work Description: Hydronic Pump Revisions per Submittal #148 / RFI #63
Change Order Proposal: 16R2

Project: Cacapon Lodge Additions & Alterations

WV State Purchase Order #: CPO 0310 6546 DNR19000000001

Contact: C. Travis Arey
Date: 5/5/2029

[illegible]

Borlie Mechanical Contracting, LLC

Quality Mechanical Construction

Process Piping
Plumbing/HVAC
Facilities Maintenance

August 9, 2019

Paramount Builders
501 6th Avenue
St. Albans, WV 25177

Attn: Kenny Harper
Ref: Cacapon Lodge Credit for Pump submittal review changes

Mr. Harper,

Borlie Mechanical is providing this proposal in response to the pump submittal review comments and changes. The submittal review has resulted in a credit to the owner in the amount below.

Total Credit is:

Five Thousand Seven Hundred Forty-Five Dollars- (\$5,745.00)

See attached backup.

Thank you,

Borlie Mechanical Contracting, LLC



Stephen L. Borlie
President

CACAPON PUMP CREDIT

ADD	ORIGINAL						NEW	
	1	P7 TO BE REDUCED FROM 2HP TO 1/2HP	P7	\$1,068.54	\$1,526.24	\$457.70	\$457.70	
	2	P16 TO BE INCREASED FROM 1.5HP TO 5HP	P16	\$3,330.66	\$5,143.11	\$1,812.45	\$1,812.45	
	3	ADDED PUMP STARTERS	P6	\$0.00	\$708.00	\$708.00	\$8,841.00	
			P12	\$0.00	\$708.00	\$708.00		
			P13	\$0.00	\$708.00	\$708.00		
			P14	\$0.00	\$726.00	\$726.00		
			P15	\$0.00	\$708.00	\$708.00		
			P20	\$0.00	\$708.00	\$708.00		
			P21	\$0.00	\$708.00	\$708.00		
			P32	\$0.00	\$1,017.00	\$1,017.00		
			P33	\$0.00	\$726.00	\$726.00		
			P34	\$0.00	\$708.00	\$708.00		
			P35	\$0.00	\$708.00	\$708.00		
P36	\$0.00	\$708.00	\$708.00					
4	P2 CHANGE	P2	\$3,926.42	\$5,174.38	\$1,247.96	\$1,247.96		
ADD TOTAL:						\$12,359.11		
CREDIT	ORIGINAL						NEW	
	5	CHANGE VARIABLE VOLUME PUMPS TO CONSTANT VOLUME.	P6	\$3,124.74	\$1,407.90	-\$1,716.84	-\$14,715.00	
			P12	\$3,992.86	\$2,060.26	-\$1,932.60		
			P13	\$3,819.06	\$2,060.26	-\$1,758.80		
			P14	\$4,146.86	\$1,975.46	-\$2,171.40		
			P15	\$3,935.66	\$2,060.26	-\$1,875.40		
			P20	\$3,935.66	\$1,285.44	-\$2,650.22		
			P21	\$3,895.18	\$1,285.44	-\$2,609.74		
	P32	\$4,690.40	\$4,690.40	\$0.00				
	6	DELETE P3	P3	\$3,912.78	\$0.00	-\$3,912.78	-\$2,665.58	
		P17 CHANGE	P17	\$3,819.06	\$5,066.26	\$1,247.20		
		LABOR						
		PUMP 3 (5HP) AND PUMP HOOK-UP INSTALLATION	7 (hrs.) x \$68.77				-\$481.39	
		MATERIAL						
PUMP HOOK-UPS						-\$242.00		
CREDIT TOTAL:						-\$18,103.97		

ADD \$12,359.11
CREDIT -\$18,103.97

-\$5,744.86

To: Brad Leslie, PE, Chief WVDNR, Carolyn Mansberger Paul Walker, AIA
Project Name: Cacapon Lodge Addition & Renovation
Date: 4/29/2019
RE: Pump clarifications to submittal #148

Brad,

To avoid future confusion on the review and actions we have taken on this submittal, I am submitting through you outside the normal flow of project paperwork. As you are aware, the pump submittal has been through several iterations and the recent coordination drawing review has resulted in the tweaks found herein. In the interest of project clarity, we are attaching clarification drawings, a supporting matrix, and a MEI revised submittal with the pump modifications already included. I realize this is an unusual step but we believe this to be the best way to communicate the information. We expect the HVAC folks to review this vis-à-vis coordination and installation, as always, if they have any questions, to please let us know. We have researched the deducts and adds associated with this and expect this to result in a decent net credit to the project.

During the review of the Submittal #148 - Hydronic Pumps and the Hydronic Piping Coordination Drawings, MEI noticed there were some items that needed further clarification to properly transmit the intent of the design. There were instances where the Sequence of Operation, Narrative Scope of Work, and the plans were in contradiction to each other and we have selected the option that aligns with the design intent. The contradictions were primarily between the mechanical piping plans, the Sequence of Operation, and the mechanical details in regards to control valves. Additionally, some of the pump performances listed on the pump schedule require modification of their operating parameters.

Miller Engineering has reviewed the design intent and the above mentioned items to provide clarifications to the hydronic pumps and control operations. Attached is a table which clarifies the pump information. Listed for each pump is the performance parameters changes if necessary, pump operation control method, and which devices require 2-way or 3-way control valves. The following is a summary of the clarifications.

- 1) Unit ventilators, fan coil units, and VAVs are to have 3-way control valves as indicated by Detail #1 on sheet M4.04.
- 2) AHU coils, AC unit coils, and MAU coils are to have 2-way control valves as indicated.
- 3) AHU-10, which will have 2-way control valves on the chilled and hot water coils as indicated.
- 4) Pumps P2 & P3 will be replaced by P2R, which will serve the AHU3 hot water coil and pool heat exchangers. The pump will now be located in the HW supply line which serves the hot water coil and heat exchangers, prior to the tap to the heat exchanger. The Pool HW Coil and heat exchangers 2 way valves, as will the pool AHU CW coil.
- 5) Pumps P6, P12, P13, & P32 will now be constant volume; eliminating the need for VFD's on the pumps. Pumps are to be provided with a TACO motor starter shipped loose for field mounting. Performance for these pumps are unaffected.

- 6) Pump P7 will be reduced from 2hp to 1/2hp based upon the revised performance. The pump will now be a TACO VR series pump, which requires no VFD or motor starter.
- 7) Pumps P14, P15, P20, & P21 will now be constant volume. Pumps are to be provided with TACO motor starter. Performance for these pumps have been modified but the pump type and HP remain unchanged.
- 8) Pump P16 will increase from 1-1/2hp to 5hp. The pump will remain a TACO SKV variable volume pump with modified performance parameters.
- 9) Removed pump P3 will now be installed and labeled as P17. The pump performance has been modified. Original pump P17 will not be required.
- 10) The pumps indicated as having TACO motor starters furnished will be required to be field installed.

> P3 = DELETED
P17 = CHANGED

To further clarify these changes, the following are attached.

- 1) Pump spreadsheet which indicated for each pump the performance parameters, modifications, and control method
- 2) Drawings M5.01, E0.04, E0.05, E2.01, E2.03, & E3.02 to update the pump schedule based upon the pump submittal and modifications and to illustrate electrical modifications.
- 3) Submittal #148 - Hydronic pumps with revised cut sheets for the modified pumps listed above.

Based upon the clarifications listed above with the attached materials, the following pricing modifications are expected:

- 1) Credit for variable volume pumps which are now constant volume.
- 2) Credit for P7 to be reduced from 2hp to 1/2hp.
- 3) Adder for P16 to be increased from 1-1/2hp to 5hp.
- 4) Credit for original variable volume P17, which will now be served by original pump P3.
- 5) Adder for ~~installing furnished~~ TACO motor starters.

6) **ADDER FOR PUMP 2 CHANGE**

Please review this clarification summary and attached materials. Provide the pricing modifications as listed above. Please feel free to contact me if you need to discuss further.

Craig Miller, PE
President
Miller Engineering Inc
(304) 291-2234 Ext. 2
cmiller@millereng.net

CC: Travis Taylor, PE
File

1011 "P" Street
P.O. Box 8494
South Charleston, WV 25303

Phone (304) 744-3407
Fax (304) 744-3408
Contractor No. WV000800

South Charleston Electric Co.



5/30/2019

Paramount Builders
Kyle Captain

Cacapon Lodge Additions and Alterations
Pump Clarifications to submittal #148
Change Order Request

Provide labor and material for the installation of field supplied motor starters for the following pumps.
P-6,7,12,13,14,15,20,21,&32.

Material-	\$	153.46
7% Sales Tax-	\$	10.74
	\$	164.20
Labor- 21hrs @ \$64	\$	1,344.00
	\$	1,508.20
15% O.H. & Profit-	\$	226.23
	\$	1,734.43

A handwritten signature in blue ink that reads "Eric Moore".
Eric Moore
Vice President

Job ID: 9349C-SCE

Project: Cacapon Lodge - Adds & Alts



Takeoff

Vendor: GB_CHARLES Labor Level: CONEST 30 May 2019 9:51:13
Phase: COR SUB 148

Item #	Qty	U/M	Q/M	Size	Description	Material Unit	Material Result	Labor Unit	Labor Result
	0				P 6,7,12,13,14,15,20,21,32				
	0				6				
200002	1	EA	M	SIZE-00 3P	MAG-START SGL-SPEED N-REVERSE	0.0000	0.00	1.1000	1.10
160107	4	EA	M	3/8 x 2 1/4"	WEDGE ANCHOR	0.7560	3.02	0.1500	0.60
TITLE	10		M		3/4 EMT W/#12 ON SURFACE UNISTRUT	0.0000	0.00	0.0000	0.00
10047	10	FT	M	3/4	EMT	0.6394	6.39	0.0280	0.28
30127	1	C	M	3/4	EMT STEEL-SS COUPLING	0.3137	0.31	0.0200	0.02
30197	2	EA	M	3/4	EMT STEEL SS CONNECTOR	0.3025	0.61	0.0450	0.09
70033	44	FT	M	12	THHN/THWN CU (STR)	0.1094	4.81	0.0030	0.13
630230	2	EA	M	3/4	COND 1-PC NUT-BOLT STEEL STRUT CLAMP	0.9507	1.90	0.0320	0.06
	0				7				
200002	1	EA	M	SIZE-00 3P	MAG-START SGL-SPEED N-REVERSE	0.0000	0.00	1.1000	1.10
160107	4	EA	M	3/8 x 2 1/4"	WEDGE ANCHOR	0.7560	3.02	0.1500	0.60
TITLE	10		M		3/4 EMT W/#12 ON SURFACE UNISTRUT	0.0000	0.00	0.0000	0.00
10047	10	FT	M	3/4	EMT	0.6394	6.39	0.0280	0.28
30127	1	C	M	3/4	EMT STEEL-SS COUPLING	0.3137	0.31	0.0200	0.02
30197	2	EA	M	3/4	EMT STEEL SS CONNECTOR	0.3025	0.61	0.0450	0.09
70033	44	FT	M	12	THHN/THWN CU (STR)	0.1094	4.81	0.0030	0.13
630230	2	EA	M	3/4	COND 1-PC NUT-BOLT STEEL STRUT CLAMP	0.9507	1.90	0.0320	0.06
	0				12				
200002	1	EA	M	SIZE-00 3P	MAG-START SGL-SPEED N-REVERSE	0.0000	0.00	1.1000	1.10
160107	4	EA	M	3/8 x 2 1/4"	WEDGE ANCHOR	0.7560	3.02	0.1500	0.60
TITLE	10		M		3/4 EMT W/#12 ON SURFACE UNISTRUT	0.0000	0.00	0.0000	0.00
10047	10	FT	M	3/4	EMT	0.6394	6.39	0.0280	0.28
30127	1	C	M	3/4	EMT STEEL-SS COUPLING	0.3137	0.31	0.0200	0.02
30197	2	EA	M	3/4	EMT STEEL SS CONNECTOR	0.3025	0.61	0.0450	0.09
70033	44	FT	M	12	THHN/THWN CU (STR)	0.1094	4.81	0.0030	0.13
630230	2	EA	M	3/4	COND 1-PC NUT-BOLT STEEL STRUT CLAMP	0.9507	1.90	0.0320	0.06
	0				12				
200002	1	EA	M	SIZE-00 3P	MAG-START SGL-SPEED N-REVERSE	0.0000	0.00	1.1000	1.10
160107	4	EA	M	3/8 x 2 1/4"	WEDGE ANCHOR	0.7560	3.02	0.1500	0.60
TITLE	10		M		3/4 EMT W/#12 ON SURFACE UNISTRUT	0.0000	0.00	0.0000	0.00
10047	10	FT	M	3/4	EMT	0.6394	6.39	0.0280	0.28
30127	1	C	M	3/4	EMT STEEL-SS COUPLING	0.3137	0.31	0.0200	0.02
30197	2	EA	M	3/4	EMT STEEL SS CONNECTOR	0.3025	0.61	0.0450	0.09
70033	44	FT	M	12	THHN/THWN CU (STR)	0.1094	4.81	0.0030	0.13

South Charleston Electric

Phone:
Web:

Phase: COR SUB 148

Item #	Qty	U/M	Q/M	Size	Description	Material Unit	Material Result	Labor Unit	Labor Result
630230	2	EA	M	3/4	COND 1-PC NUT-BOLT STEEL STRUT CLAMP	0.9507	1.90	0.0320	0.06
	0				13				
200002	1	EA	M	SIZE-00 3P	MAG-START SGL-SPEED N-REVERSE	0.0000	0.00	1.1000	1.10
160107	4	EA	M	3/8 x 2 1/4"	WEDGE ANCHOR	0.7560	3.02	0.1500	0.60
TITLE	10	FT	M	3/4	3/4 EMT W/#12 ON SURFACE UNISTRUT	0.0000	0.00	0.0000	0.00
10047	10	FT	M	3/4	EMT	0.6394	6.39	0.0280	0.28
30127	1	C	M	3/4	EMT STEEL-SS COUPLING	0.3137	0.31	0.0200	0.02
30197	2	EA	M	3/4	EMT STEEL SS CONNECTOR	0.3025	0.61	0.0450	0.09
70033	44	FT	M	12	THHN/THWN CU (STR)	0.1094	4.81	0.0030	0.13
630230	2	EA	M	3/4	COND 1-PC NUT-BOLT STEEL STRUT CLAMP	0.9507	1.90	0.0320	0.06
	0				14				
200002	1	EA	M	SIZE-00 3P	MAG-START SGL-SPEED N-REVERSE	0.0000	0.00	1.1000	1.10
160107	4	EA	M	3/8 x 2 1/4"	WEDGE ANCHOR	0.7560	3.02	0.1500	0.60
TITLE	10	FT	M	3/4	3/4 EMT W/#12 ON SURFACE UNISTRUT	0.0000	0.00	0.0000	0.00
10047	10	FT	M	3/4	EMT	0.6394	6.39	0.0280	0.28
30127	1	C	M	3/4	EMT STEEL-SS COUPLING	0.3137	0.31	0.0200	0.02
30197	2	EA	M	3/4	EMT STEEL SS CONNECTOR	0.3025	0.61	0.0450	0.09
70033	44	FT	M	12	THHN/THWN CU (STR)	0.1094	4.81	0.0030	0.13
630230	2	EA	M	3/4	COND 1-PC NUT-BOLT STEEL STRUT CLAMP	0.9507	1.90	0.0320	0.06
	0				15				
200002	1	EA	M	SIZE-00 3P	MAG-START SGL-SPEED N-REVERSE	0.0000	0.00	1.1000	1.10
160107	4	EA	M	3/8 x 2 1/4"	WEDGE ANCHOR	0.7560	3.02	0.1500	0.60
TITLE	10	FT	M	3/4	3/4 EMT W/#12 ON SURFACE UNISTRUT	0.0000	0.00	0.0000	0.00
10047	10	FT	M	3/4	EMT	0.6394	6.39	0.0280	0.28
30127	1	C	M	3/4	EMT STEEL-SS COUPLING	0.3137	0.31	0.0200	0.02
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70033	44	FT	M	12	THHN/THWN CU (STR)	0.1094	4.81	0.0030	0.13
630230	2	EA	M	3/4	COND 1-PC NUT-BOLT STEEL STRUT CLAMP	0.9507	1.90	0.0320	0.06
	0				20				
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160107	4	EA	M	3/8 x 2 1/4"	WEDGE ANCHOR	0.7560	3.02	0.1500	0.60
TITLE	10	FT	M	3/4	3/4 EMT W/#12 ON SURFACE UNISTRUT	0.0000	0.00	0.0000	0.00
10047	10	FT	M	3/4	EMT	0.6394	6.39	0.0280	0.28
30127	1	C	M	3/4	EMT STEEL-SS COUPLING	0.3137	0.31	0.0200	0.02
30197	2	EA	M	3/4	EMT STEEL SS CONNECTOR	0.3025	0.61	0.0450	0.09
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	0				20				
200002	1	EA	M	SIZE-00 3P	MAG-START SGL-SPEED N-REVERSE	0.0000	0.00	1.1000	1.10
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TITLE	10	FT	M	3/4	3/4 EMT W/#12 ON SURFACE UNISTRUT	0.0000	0.00	0.0000	0.00
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630230	2	EA	M	3/4	COND 1-PC NUT-BOLT STEEL STRUT CLAMP	0.9507	1.90	0.0320	0.06
	0				20				
200002	1	EA	M	SIZE-00 3P	MAG-START SGL-SPEED N-REVERSE	0.0000	0.00	1.1000	1.10
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630230	2	EA	M	3/4	COND 1-PC NUT-BOLT STEEL STRUT CLAMP	0.9507	1.90	0.0320	0.06
	0				20				
200002	1	EA	M	SIZE-00 3P	MAG-START SGL-SPEED N-REVERSE	0.0000	0.00	1.1000	1.10
160107	4	EA	M	3/8 x 2 1/4"	WEDGE ANCHOR	0.7560	3.02	0.1500	0.60
TITLE	10	FT	M	3/4	3/4 EMT W/#12 ON SURFACE UNISTRUT	0.0000	0.00	0.0000	0.00
10047	10	FT	M	3/4	EMT	0.6394	6.39	0.0280	0.28
30127	1	C	M	3/4	EMT STEEL-SS COUPLING	0.3137	0.31	0.0200	0.02
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South Charleston Electric

Phone:
Web:

Phase: COR SUB 148

Item #	Qty	U/M	Q/M	Size	Description	Material Unit	Material Result	Labor Unit	Labor Result
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	0				21				
200002	1	EA	M	SIZE-00 3P	MAG-START SGL-SPEED N-REVERSE	0.0000	0.00	1.1000	1.10
160107	4	EA	M	3/8 x 2 1/4"	WEDGE ANCHOR	0.7560	3.02	0.1500	0.60
TITLE	10		M		3/4 EMT W/#12 ON SURFACE UNISTRUT	0.0000	0.00	0.0000	0.00
10047	10	FT	M	3/4	EMT	0.6394	6.39	0.0280	0.28
30127	1	C	M	3/4	EMT STEEL-SS COUPLING	0.3137	0.31	0.0200	0.02
30197	2	EA	M	3/4	EMT STEEL SS CONNECTOR	0.3025	0.61	0.0450	0.09
70033	44	FT	M	12	THHN/THWN CU (STR)	0.1094	4.81	0.0030	0.13
630230	2	EA	M	3/4	COND 1-PC NUT-BOLT STEEL STRUT CLAMP	0.9507	1.90	0.0320	0.06
	0				32				
200002	1	EA	M	SIZE-00 3P	MAG-START SGL-SPEED N-REVERSE	0.0000	0.00	1.1000	1.10
160107	4	EA	M	3/8 x 2 1/4"	WEDGE ANCHOR	0.7560	3.02	0.1500	0.60
TITLE	10		M		3/4 EMT W/#12 ON SURFACE UNISTRUT	0.0000	0.00	0.0000	0.00
10047	10	FT	M	3/4	EMT	0.6394	6.39	0.0280	0.28
30127	1	C	M	3/4	EMT STEEL-SS COUPLING	0.3137	0.31	0.0200	0.02
30197	2	EA	M	3/4	EMT STEEL SS CONNECTOR	0.3025	0.61	0.0450	0.09
70033	44	FT	M	12	THHN/THWN CU (STR)	0.1094	4.81	0.0030	0.13
630230	2	EA	M	3/4	COND 1-PC NUT-BOLT STEEL STRUT CLAMP	0.9507	1.90	0.0320	0.06
Phase Totals:							153.46		20.57
Job Totals:							153.46		20.57

South Charleston Electric

Phone:

Web:

EST Software Systems

Paramount Job #	181
Paradigm Project #	1732

Change Order Proposal:

Contact: Kenny Harper
Date: 2/2/2021

Project: Cacapon Lodge Additions & Alterations

WV State Purchase Order #: CPO 0310 6546 DNR1900000001

[illegible]

South Charleston Electric

Paramount Builders
Kenny Harper

Cacapon Lodge Additions and Alterations
Track Lighting and Microwave Receptacles

Provide and install track lighting over bar per drawing.

Subcontract	\$ 2,196.00
<u>15% O.H. & Profit-</u>	<u>\$ 329.40</u>
	\$ 2,525.40

Eric Moore
Project Estimator

alpha
TECHNOLOGIES



South Charleston Electric Company

We have prepared a quote for you

Cacapon Additional Drops - Reception Desk CC

Quote #1003557

Version 1

 304-201-7485

 www.alpha-tech.us



Services

Description		Price	Qty	Ext. Price
Professional Services	Install (4) drops in the reception area for credit card machine.	\$274.50	8	\$2,196.00
Subtotal:				\$2,196.00



Cacapon Additional Drops - Reception Desk CC

Prepared by:

Alpha Technologies
James Stewart
304-201-7485
jstewart@alpha-tech.us

Prepared for:

South Charleston Electric Company
1011 F Street
PO Box 8494
South Charleston, WV 25303
Eric Moore
(304) 541-3407
emoore@southcharlestonelectric.com

Quote Information

Quote #: 1003557
Version: 1
Delivery Date: 01/14/2021
Expiration Date: 02/11/2021

Quote Summary

Description	Amount
Services	\$2,196.00
Total:	\$2,196.00

Alpha Technologies

Signature: _____

Name: James Stewart

Title: Client Executive

Date: 01/14/2021

South Charleston Electric Company

Signature: _____

Name: Eric Moore

Date: _____

Paramount Job # 181
Paradigm Project # 1732

Change Order Proposal:

Contact: Kenny Harper
Date: 2/2/2021

Project: Cacapon Lodge Additions & Alterations

WV State Purchase Order #: CPO 0310 6546 DNR19000000001

[illegible]

Borlie Mechanical Contracting, LLC

Quality Mechanical Construction

Process Piping
Plumbing/HVAC
Facilities Maintenance

January 14, 2021

Paramount Builders
501 6th Avenue
St. Albans, WV 25177

Attn: Kenny Harper

Ref: Cacapon Lodge COR RFI #256 relocate 1st floor water and sanitary riser

Mr. Harper,

Borlie Mechanical is providing this proposal to furnish and install the necessary tools material and labor to remove the existing sanitary riser and domestic hot and cold water risers and relocate per the RFI response in RFI #256.

Total Cost is:

Four Thousand Three Hundred Fifty Six Dollars (\$4,356.00)

Thank you,

Borlie Mechanical Contracting, LLC



Stephen L. Borlie
President

JOB 218 218: CACAPON LODGE
 ESTIMATE 13 218: RFI 256
 DATA SET 6 COMM MECH 09/2018
 DATE 1/13/2021 4:04:33 PM

Bid: #1 - RFI 256
 Borlie Mechanical
 5521 Tabler Station Road
 Inwood, WV 254258
 304-260-0935 / 304-260-0953
 TClark@borliemechanical.com

Ind...	Description	Reference Type	Reference	Ref Amount	Operation	Rate	Amount	Ref Only
1	MATERIAL TOTAL	Material	Total	1,557.70	*	1.00	1,557.70	☐
2	SUBTOTAL						1,557.70	☐
3							0.00	☐
4	MATERIAL SALES TAX %	Component	2	1,557.70	%	6.00	93.46	☐
5	SUBTOTAL						93.46	☐
6							0.00	☐
7	* DIRECT LABOR: *						0.00	☒
8							0.00	☐
9	JOURNEYMEN HRS	Field Labor	Total	31.07	%	100.00	31.07	☒
10	JOURNEYMEN RATE	Component	9	31.07	*	68.77	2,136.68	☐
11	SUBTOTAL						2,136.68	☐
12							0.00	☐
13	JOB SUBTOTAL						3,787.84	☐
14							0.00	☐
15	* OVERHEAD OR MARKUP						0.00	☒
16							0.00	☐
17							0.00	☐
18	OVERHEAD AND PROFIT	Component	13	3,787.84	%	15.00	568.18	☒
19	JOB TOTAL + PROFIT	Component	18	568.18	*	1.00	568.18	☐
20	BID TOTAL						4,356.02	☐

JOB 218 CACAPON LODGE
ESTIMATE 13 RFI 256
PRINTED 1/13/2021 3:49:09 PM

Borlie Mechanical
5521 Tabler Station Road
Inwood, WV 254258
304-260-0935 / 304-260-0953
TClark@borliemechanical.com

Item					Material			Field Labor		
Category	Size	Item Desc	Qty	UOM	Mat Unit	Mat Adj	Mat Ext	Fld Unit	Fld Adj	Fld Ext
COPPER KLM-LEAD ...	1"	L-HARD TUBE	40.00	'	8.74	0.45	157.32	0.07	1.00	2.80
COPPER KLM-LEAD ...	1"	90 ELBOW CxC	10.00	ea	25.41	0.25	63.52	0.63	1.00	6.30
COPPER KLM-LEAD ...	1"	COUPLING	4.00	ea	13.92	0.25	13.92	0.63	1.00	2.52
COPPER KLM-LEAD ...	Unsize	SOLDER LBS-LEAD FREE	1.00	lbs	46.35	1.00	46.35	Skip	1.00	0.00
COPPER KLM-LEAD ...	Unsize	PRESTOLITE B tank (avg.40 cu.ft.)	1.00	cu. ft	35.00	1.00	35.00	Skip	1.00	0.00
COPPER KLM-LEAD ...	4" x 8"	FLOOR CORE DRILL	2.00	ea	200.00	1.00	400.00	Skip	1.00	0.00
COPPER KLM-LEAD ...	5" x 8"	FLOOR CORE DRILL	1.00	ea	200.00	1.00	200.00	Skip	1.00	0.00
COPPER KLM-LEAD ...	Unsize	FLUX--8 OZ. CAN	1.00	ea	11.82	1.00	11.82	Skip	1.00	0.00
COPPER KLM-LEAD ...	Unsize	ABRASIVE CLOTH-25YD	1.00	ea	12.00	1.00	12.00	Skip	1.00	0.00
PVC SCH 40--DWV	4"	PIPE-SCH 40 PVC DWV	20.00	'	7.53	0.70	105.42	0.08	1.00	1.60
PVC SCH 40--DWV	3"	C.O. FTG ADAPTER--SPG/& PLU...	1.00	ea	53.98	0.20	10.80	0.06	1.00	0.06
PVC SCH 40--DWV	3"	1/8 BEND -- HxH-321	2.00	ea	38.90	0.20	15.56	0.38	1.00	0.76
PVC SCH 40--DWV	4"	1/8 BEND -- HxH-321	2.00	ea	71.26	0.20	28.50	0.80	1.00	1.60
PVC SCH 40--DWV	4"	1/4 BEND -- HxH-300	4.00	ea	85.81	0.20	68.65	0.81	1.00	3.24
PVC SCH 40--DWV	Unsize	CEMENT--PVC--QTS.	1.00	ea	16.00	1.00	16.00	Skip	1.00	0.00
PVC SCH 40--DWV	Unsize	CLEANER--PVC--QTS.	1.00	ea	16.00	0.20	3.20	Skip	1.00	0.00
PVC SCH 40--DWV	4"	LONG SWEEP 1/4 BEND - HxH-304	4.00	ea	105.41	0.20	84.33	0.81	1.00	3.24
PVC SCH 40--DWV	4" x3"	RED SAN TEE-ALL HUB-401	1.00	ea	135.23	0.20	27.05	1.09	1.00	1.09
PVC SCH 40--DWV	4" x3"	RED DBLE WYE -- HHHH	1.00	ea	249.79	0.20	49.96	1.47	1.00	1.47
PVC SCH 40--DWV	4"	COUPLING -- HxH	1.00	ea	35.81	0.20	7.16	0.79	1.00	0.79
C.I. SOIL NO HUB--...	4" x4"	FERNCO COUPLING	2.00	ea	18.27	1.00	36.54	0.40	1.00	0.80
C.I. SOIL NO HUB--...	3" x3"	FERNCO COUPLING	1.00	ea	14.60	1.00	14.60	0.40	1.00	0.40
** PIPE & FIXTURE ...	1"	PIPE - COPPER <i>Demo</i>	10.00	ea	Skip	1.00	0.00	0.05	1.00	0.50
** PIPE & FIXTURE ...	4"	PIPE - CAST IRON <i>Demo</i>	20.00	ea	Skip	1.00	0.00	0.12	1.00	2.40
FIRESTOPPING & W...	4" x 8"	FLOOR FIRESTOPPING	2.00	ea	50.00	1.00	100.00	0.50	1.00	1.00
FIRESTOPPING & W...	5" x 8"	FLOOR FIRESTOPPING	1.00	ea	50.00	1.00	50.00	0.50	1.00	0.50
Grand Totals							1,557.70			31.07



Request for Information

Date: 12/17/2020

RFI # 256

To: Paradigm Architecture
2223 Cheat Rd - Suite 300
Morgantown, WV 26508

Cacapon Lodge Additions & Alterations
Paramount Job# 181
Paradigm Job# 1732

RE: Existing Lodge - Sanitary Riser

SUBJECT:

At column line X8 on the first floor of the existing building a sanitary sewer riser is embedded in the wall that is to be removed approximately 12' from exterior wall. When the wall is demoed the riser serving the 4 second floor suites will be exposed in the middle of room 143.

Please advise.

Per the discussion in the project meeting and as agreed to by Brad, the sanitary riser, and the 2 - 1" domestic risers not mentioned in the RFI will be demoed and redirected/ replaced with a new PVC riser against the exterior; as discussed with Steve Borlie after the meeting.

Thank You

Kenny Harper

Paramount Builders, LLC
PO Box 1370
St. Albans WV 25177
P - 304-727-2770
F - 304-727-0302

Paramount Job #	181
Paradigm Project #	1732

Change Order Proposal:

Project: Cacapon Lodge Additions & Alterations

[illegible]

QUOTATION

ALACO LADDER COMPANY

5167 G St., Chino, CA 91710
888-310-7040

Quote Number

96671

Quote Date

Jan 14, 2021

Quoted To :

Paramount Builders
PO Box 1370
Saint Albans, WV 25177

Ship To :

Paramount Builders
PO Box 1370
Saint Albans, WV 25177

Page

1

Ph: 304.727.2770

Email: dfoster@paramountwv.com

Fax:

Customer ID	Good Thru	Payment Terms	Sales Rep	Job Name	
PARAMOUNTB	2/13/21	Credit Card	Manny		
Quant.	Item	Description		Unit Price	Extension
1.00	M70	49" Fixed aluminum ships ladder for mezzanine access, 24" W, 70° angle, 2 extended handrails, no mounting hardware (custom, formerly model 375)		1,000.00	1,000.00
1.00	HP70FH	8' 8" Pivotal aluminum wall ladder for roof hatch access, 70° angle, Std 24" W, 2 flush handrails (formerly model 460FH)		1,180.00	1,180.00
LEAD	2.5	Lead time: 4-5 Week (mfg) / FOB Chino, CA / Freight is estimated only (add \$70 for construction site delivery) / Alaco standard construction, mill finish alum.			
FQ		Freight quote to follow			

Subtotal

2,180.00

Sales Tax

Shipping & Handling

Quote Total

2,180.00

**SHOP DRAWINGS MUST BE SIGNED AND
RETURNED TO BEGIN MANUFACTURE**

ALACO Ladder Company now accepts
Visa, MasterCard and American Express



Request for Information

Date: 1/7/2021

RFI # 261

To: Paradigm Architecture
2223 Cheat Rd – Suite 300
Morgantown, WV 26508

Cacapon Lodge Additions & Alterations
Paramount Job# 181
Paradigm Job# 1732

RE: Attic Access for Existing Lodge

SUBJECT:

Please provide details on the requested attic access ladder per Supplemental Bid Information, item 8.

“8) Fixed Ladder Attic Access: In room 315 Housekeeping, provide a 70-degree folding ladder in lieu of the attic access ladder shown, similar or equal to Alaco HP70 – 70-degree folding ladder (www.alacoladder.com/hp70-70/). Adjacent wall at 317 Vending will be shifted to provide clearance at bottom of ladder. In existing Lodge room 251A Janitors Closet, provide same ladder and fire-rated attic access hatch equipment for access to the existing attic, exact location to be determined. “

Please provide a drawing showing the location and detail sections on how this ladder will provide access from the ceiling joists to the steel cat walk. Please provide attachment details for how this is secured to the existing cieling joists.

See attached Drawing.

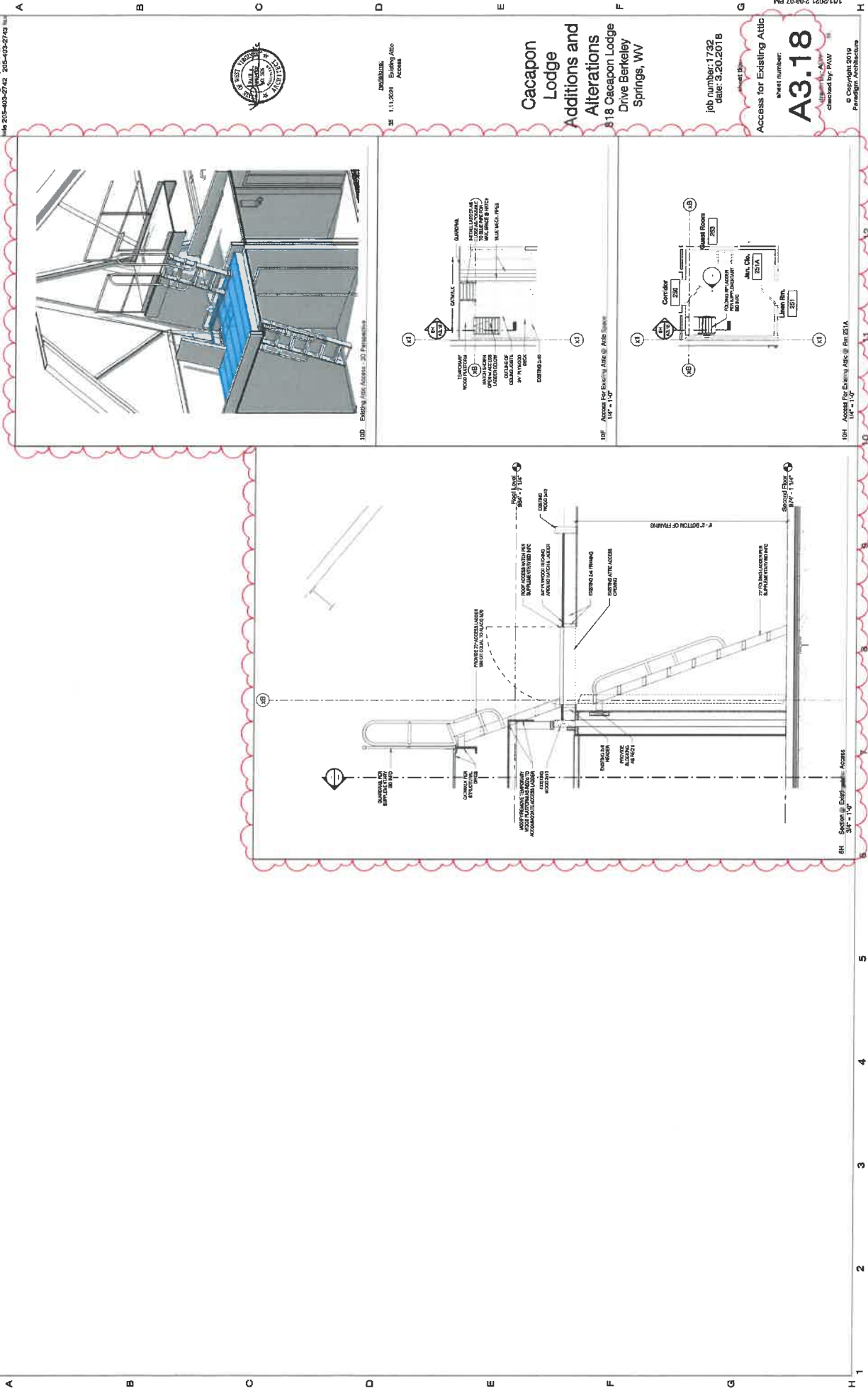
1/11/21
Steve Konya II

Thank You

Kenny Harper

Paramount Builders, LLC
PO Box 1370
St. Albans WV 25177
P - 304-727-2770
F - 304-727-0302

1 2 3 4 5 6 7 8 9 10 11 12 13



PARADIGM
ARCHITECTURE

2223 Chest Road - Suite 300
Morgantown, WV 26508
Phone: 304-284-6075 Fax: 304-284-3014
2400 Valleydale Road - Suite 150
Birmingham, AL 35244
Web: 205-403-2742 Fax: 205-403-2743



DATE: 1.11.2019
BY: David L. Smith
PROJECT: Cacapon Lodge
Access

Cacapon Lodge Additions and Alterations 818 Cacapon Lodge Drive Berkeley Springs, WV

job number: 1732
date: 3.20.2018

Access for Existing Attic

sheet number:
A3.18

checked by: PMW
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Paradigm Architecture

10H Access for Existing Attic @ Rm 251A
1/8" = 1'-0"

10F Access for Existing Attic @ Attic Space
1/8" = 1'-0"

10D Existing Attic Access - 3D Perspective

81H Cacapon @ Entry
3/8" = 1'-0"

Paramount Job #	181
Paradigm Project #	1732

Change Order Proposal:

Contact: Kenny Harper
Date: 2/9/2021

WV State Purchase Order #: CPO 0310 6546 DNR1900000001

[illegible]

South Charleston Electric

Paramount Builders
Kenny Harper

Cacapon Lodge Additions and Alterations
Response to RFI #220 COP

Material and labor to convert panels HB & HC from three phase to single phase converting C phase to a neutral from existing switchgear to HB and HB to HC.

Material-	\$	58.36
7% Sales Tax-	\$	4.09
	\$	62.45
Labor- 14hrs @ \$64	\$	896.00
	\$	958.45
15% O.H. & Profit-	\$	143.77
	\$	1,102.22

Eric Moore
Vice President

Job ID: JOB-0006
Project: cacapon extras



Takeoff

Vendor: GB_CHARLES Labor Level: CONEST 6 Feb 2021 7:50:20

Phase: KEEP HB&HC

Item #	Qty	U/M	Q/M	Size	Description	Material Unit	Material Result	Labor Unit	Labor Result
100541	2.00	EA	M	350	WIRE TERMINATION LBR	0.0000	0.00	0.6000	1.20
100826	2.00	EA	M	250 - 400	HI PRESS WIRE TERM KN-4	16.9300	33.86	1.8000	3.60
100537	2.00	EA	M	3/0	WIRE TERMINATION LBR	0.0000	0.00	0.4000	0.80
100818	2.00	EA	M	2/0 - 250	HI PRESS WIRE TERM KO-R28	12.2500	24.50	1.5000	3.00
170545	4.00	EA	M		PANEL COVER SURFACE	0.0000	0.00	0.2400	0.96
500228	4.00	EA	M	MISC	LABOR HOURS	0.0000	0.00	1.0000	4.00
Phase Totals:							58.36		13.56
Job Totals:							58.36		13.56

ENTER YOUR COMPANY NAME HERE!

Phone:
Web:



Request for Information

Date: 10/15/2020

RFI # 220

To: Paradigm Architecture
2223 Cheat Rd – Suite 300
Morgantown, WV 26508

Cacapon Lodge Additions & Alterations
Paramount Job# 181
Paradigm Job# 1732

RE: Existing Lodge – Electrical Clarification – Panels HB and HC

SUBJECT:

Panel HB and HC are existing panels on the 2nd floor of the lodge that were used to feed the old 240v guest room wall heaters. There are currently no neutral in these panels. The drawings show (4) 120v circuits feeding out of HB and (2) 120v circuits feeding out of HC.

South Charleston Electric suggests adding a 2 pole breaker in Panel 202 and mounting a small single phase sub panel beside panel 202 to accommodate the (6) circuits and the (2) relocated circuits out of panel 202 to allow for installation of the sub feed breaker (the load on these circuits appears to be minor).

Please advise on how we are to proceed.

The proposed solution from South Charleston Electric is acceptable.

60 AMP, 12 Ckt

Kenny Harper

Paramount Builders, LLC
PO Box 1370
St. Albans WV 25177
P - 304-727-2770
F - 304-727-0302

Fax 304-727-0302

Work Description: RFI #270 - Attic Ladder in New Lodge

Project: Cacapon Lodge Additions & Alterations
WV State Purchase Order #: CPO 0310 6546 DNR1900000001

[illegible]



AISC
CERTIFIED
FABRICATOR



Billing: 360 Frontier Street
Morgantown, WV 26505

Office: 304-598-3055
Direct: 330-554-0302
Mobile: 304-826-0237
Email: spencer@cecsteel.com

Shipping: 400 Ft. Martin Industrial park Road
Maidsville, WV 26541

Quoted By: Spencer Reed
General Manager

QUOTATION NUMBER: 2120

DATE: 02/15/2021

PROJECT NAME: Cacapon Attic Access Ladder Ext

PROJECT LOCATION: Berkeley Springs, WV

BID ITEM	Amount
0 - None	
1 Ladder Extension Fab	420.00
2 Shipping	500.00
Phase Total:	920.00
Grand Total:	920.00

BID QUALIFICATIONS:

BID PRICE INCLUDES:

Fabrication of one ladder, Appx 3' long
Two Top Hand Grab Loops included in new price
Ladder to be shop primed red
Delivery to Jobsite
Detailing and shop drawings
(4) 1/2" expansion anchors

BID PRICE EXCLUDES:

Sales Tax
Installation
Field Measuring
Finish Paint
Safety Gates or Chains
Fall Protection
Hatches or opening covers
Galvanizing



Request for Information

Date: 2/3/2021

RFI # 270

To: Paradigm Architecture
2223 Cheat Rd – Suite 300
Morgantown, WV 26508

Cacapon Lodge Additions & Alterations
Paramount Job# 181
Paradigm Job# 1732

RE: New Addition – Attic Access Issue

SUBJECT:

During the owner/architect punch list of the new attic space, several comments were made regarding the difficulty in climbing from the top of ladder, to the attic cat walk.

In reference the details that were provided when the catwalk was added to the project design, it appears the ladder and catwalk were installed as detailed. The ladder stops at the ceiling elevation and the catwalk is approx... 42" above the top of the ladder.

Please advise on how the access ladder should be modified to provide easier access from the ladder to the catwalk.

Please see the detail below provided when the catwalk was added to the design.

See attached revised Drawing

Thank You

Kenny Harper

Steve Konya II

2/11/21

Paramount Builders, LLC
PO Box 1370
St. Albans WV 25177
P - 304-727-2770
F - 304-727-0302



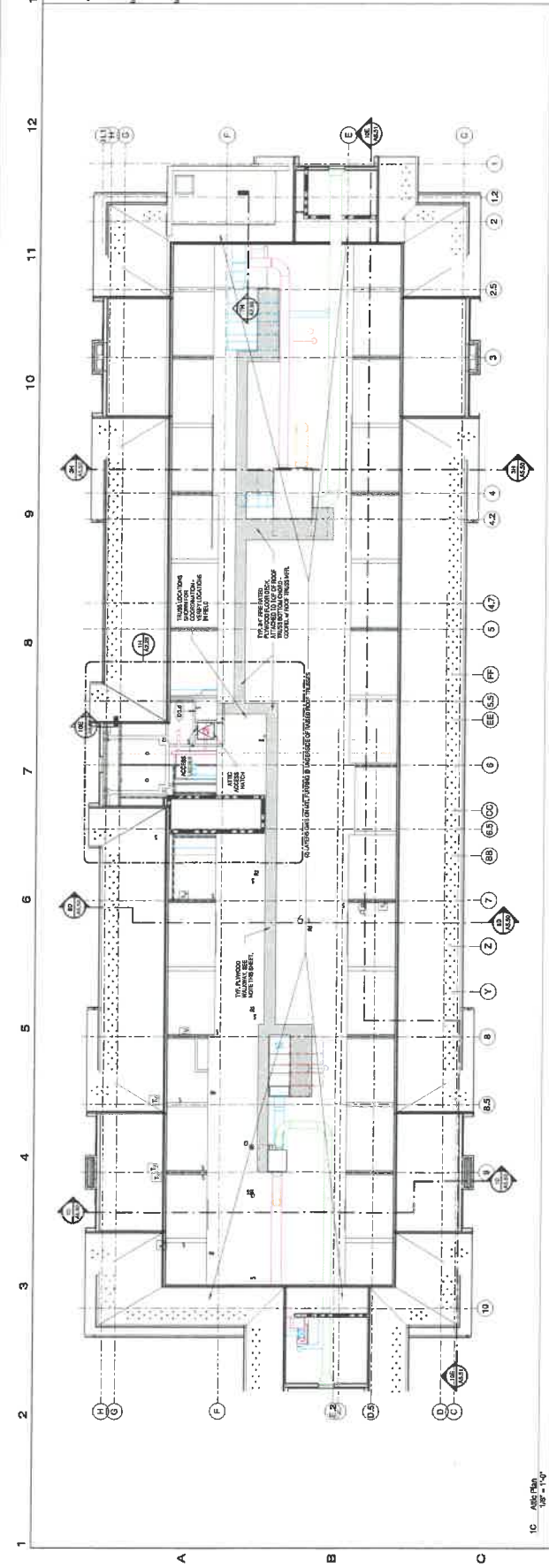
EXHIBIT:
21 11.18.2018 Add and Alter
36 2.11.2021 New Attic Access

Cacapon Lodge Additions and Alterations 818 Cacapon Lodge Drive Berkeley Springs, WV

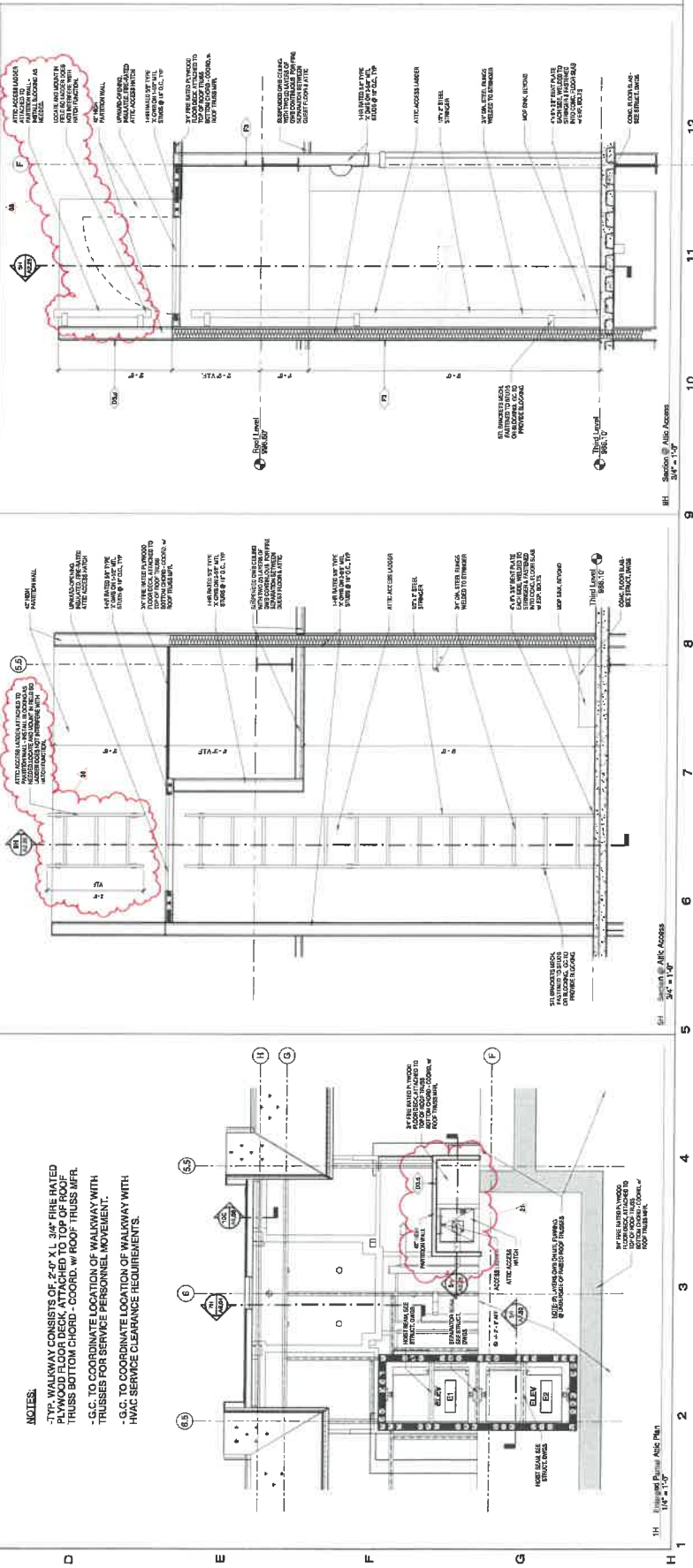
job number: 1732
date: 3.20.2018

sheet title:
**Attic Plans and
Sections**
sheet number:
A2.26

drawn by: Author
checked by: Checker
© Copyright 2018
Paradigm Architecture



- NOTES:**
- TYPE WALKWAY CONSISTS OF 2"x4" X-L 3"x4" FIRE RATED PLYWOOD FLOOR DECK, ATTACHED TO TOP OF ROOF TRUSS BOTTOM CHORD - COORD. W/ ROOF TRUSS MFR.
 - G.C. TO COORDINATE LOCATION OF WALKWAY WITH TRUSSES FOR SERVICE PERSONNEL MOVEMENT.
 - G.C. TO COORDINATE LOCATION OF WALKWAY WITH HVAC SERVICE CLEARANCE REQUIREMENTS.

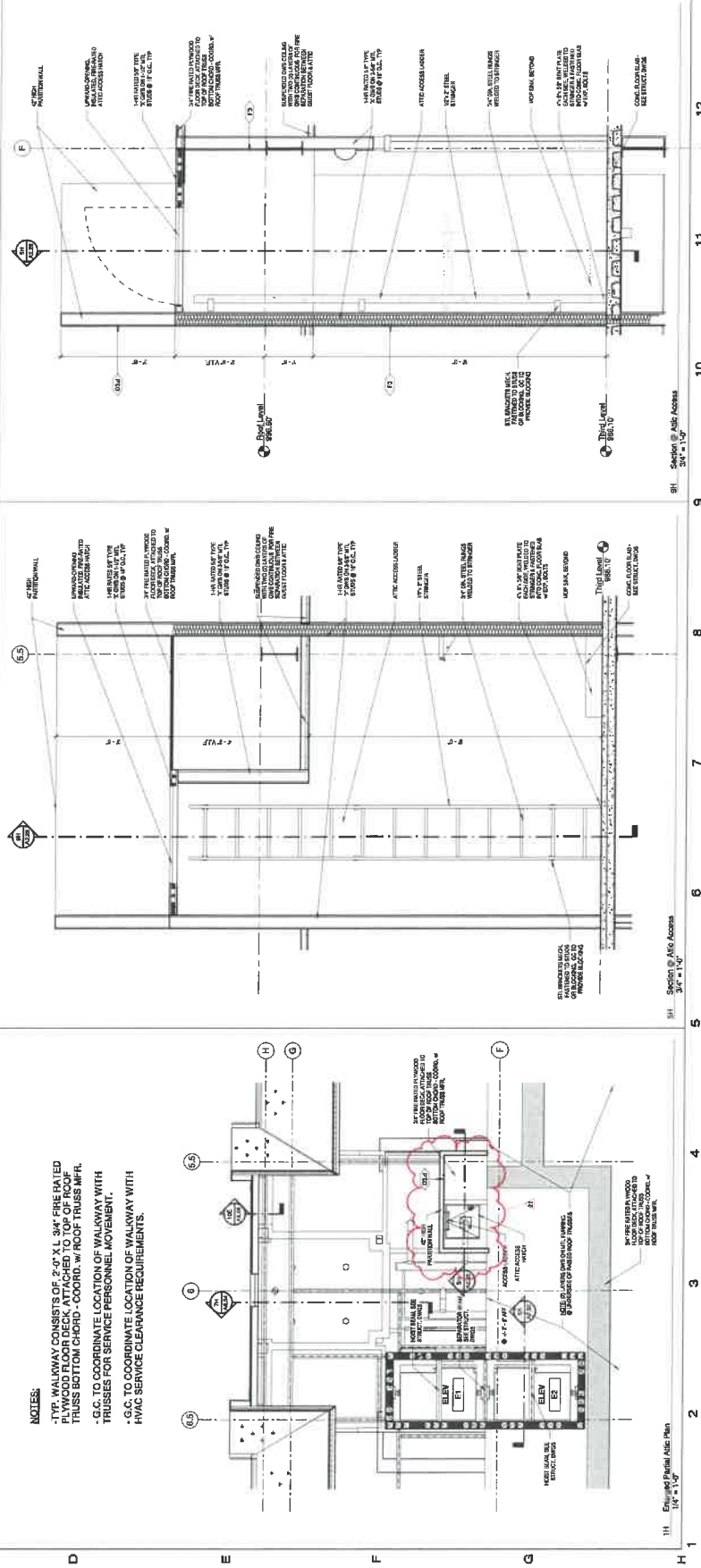
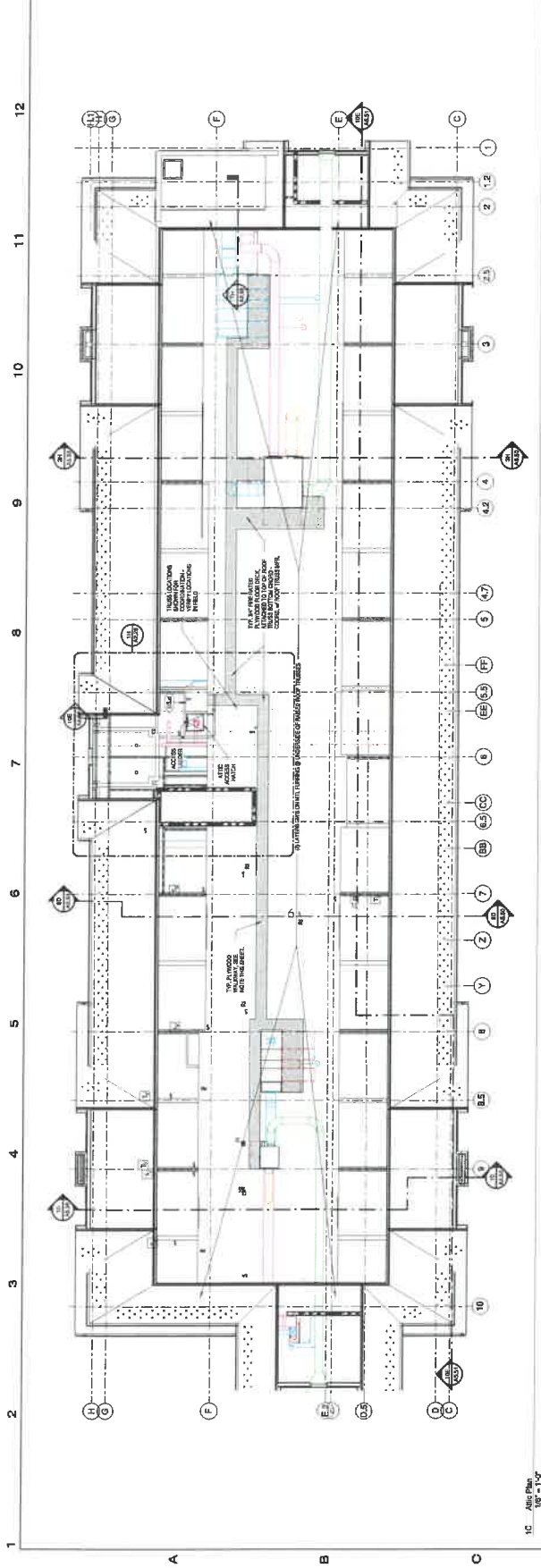




21 11.15.2018 Add and Alter
 Access Walkway

Cacapon Lodge
Additions and Alterations
 818 Cacapon Lodge Drive Berkeley Springs, WV

job number: 1732
 date: 3.20.2018
 sheet title:
 Attic Plans and Sections
 sheet number:
A2.26
 drawn by: Author
 checked by: Contractor
 © Copyright 2019
 Paradigm Architecture



COR Cost Estimate



PO Box 1370
Saint Albans, WV 25177
Phone 304-727-2770
Fax 304-727-0302

Paramount Job # 181
Paradigm Project # 1732

Work Description: **RFI #286 - Structural Lintel for Mechanical Diffusers**

Change Order Proposal: **123**

Contact: C. Travis Arey
Date: 2/17/2021

Project: **Cacapon Lodge Additions & Alterations**

WV State Purchase Order #: CPO 0310 6546 DNR1900000001

	Quantity	Unit	Material	Extension	Labor	Extension	Subcontract	Extension
Demolition of Opening (2 men x 6 hours)	12	MH	\$ -	\$ -	\$ 57.50	\$ 690.00	\$ -	\$ -
Steel Lintel	4	EA	\$ 150.00	\$ 600.00	\$ 86.25	\$ 345.00	\$ -	\$ -
Misc Materials (Grout, Shoring, etc)	1	LS	\$ 100.00	\$ 100.00	\$ -	\$ -	\$ -	\$ -
Small Tools	1	LS	\$ 250.00	\$ 250.00	\$ -	\$ -	\$ -	\$ -
Dumpster / Cleaning	1	LS	\$ 75.00	\$ 75.00	\$ 57.50	\$ 57.50	\$ -	\$ -
			\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Subtotal			\$ 1,025	\$ 1,097	\$ 1,093	\$ 1,453	\$ -	\$ -
			Sales Taxes:	\$ 72	Labor Burden:	\$ 361	\$ -	\$ -
			Subtotals:	\$ 1,097		\$ 1,453	\$ -	\$ -
			Material:	\$ 1,096.75				
			Labor:	\$ 1,453.03				
			Subtotal:	\$ 2,549.78				
			GC O&P (15%):	\$ 382.47				
			L&M Subtotal:	\$ 2,932.24				
			Subcontractor:	\$ -				
			Sub Bond 1%:	\$ -				
			Subtotal:	\$ -				
			GC O&P on Subcontractors (10%):	\$ -				
			Sub Subtotal:	\$ -				
			Subtotal:	\$ 2,932.24				
			Contractors Liability Insurance (1.5%):	\$ 43.98				
			Builders Risk Premium	\$ 7.44				
			GC Bond (1%):	\$ 29.84				
			Total:	\$ 3,013.50				

Notes:

- See RFI #286 for details



Estimate 202323

ADDRESS

Paramount Builders
PO Box 1370
Saint Albans, WV 25177

DATE
02/17/2021

TOTAL
\$636.00

WORK DESCRIPTION

RFI - 181

REQUESTED BY

Travis Arey

JOB NAME

929 - Cacapon Springs

DESCRIPTION

Fabricate and supply 4 pc. L5 x 3-1/2 x 5/16" x 64" primed

QTY

RATE

AMOUNT

4

150.00

600.00T

Thank you for the opportunity.

SUBTOTAL

600.00

TAX

36.00

TOTAL

\$636.00

THANK YOU.

Accepted By

Accepted Date

Crane's Welding, LLC. / 87 Northwestern Pike / Capon Bridge / WV / 26711 PH: (304) 856-1800 FX: (304) 856-1809

Iron Sharpens Iron as One Man Sharpens Another (Proverbs 27:17)



Allegheny Design Services

ADS RESPONSE FOR: RFI #286 Structural Lintel For Mechanical Diffuser

RFI Information

Project Name: Cacapon Resort State Park Lodge Addition

Project Number: PRDGM-2017-04

Date Received: 2-9-2021

Subject: Structural Lintel For Mechanical Diffuser

Response To: Sheryl Snider / Steve Konya II

Allegheny Design Services Reply:

REFER TO DRAWING S0.1 LINTEL SCHEDULE

**OK TO INSTALL ANGLES ON BOTH OUTSIDE
FACE OF CMU**

A handwritten signature in black ink, appearing to read 'David R. Simpson', is written over a horizontal line.

02-09-2021

David R. Simpson
Engineer Signature

Date

double 1.5" x 3.125" angle

CMU

1



Request for Information

Date: 2/9/2021

RFI # 286

To: Paradigm Architecture
2223 Cheat Rd – Suite 300
Morgantown, WV 26508

Cacapon Lodge Additions & Alterations
Paramount Job# 181
Paradigm Job# 1732

RE: Existing Lodge – Lobby 143 Structural Lintel for Mechanical Diffuser

SUBJECT:

Reference Drawings Details: M2.03 & M4.01

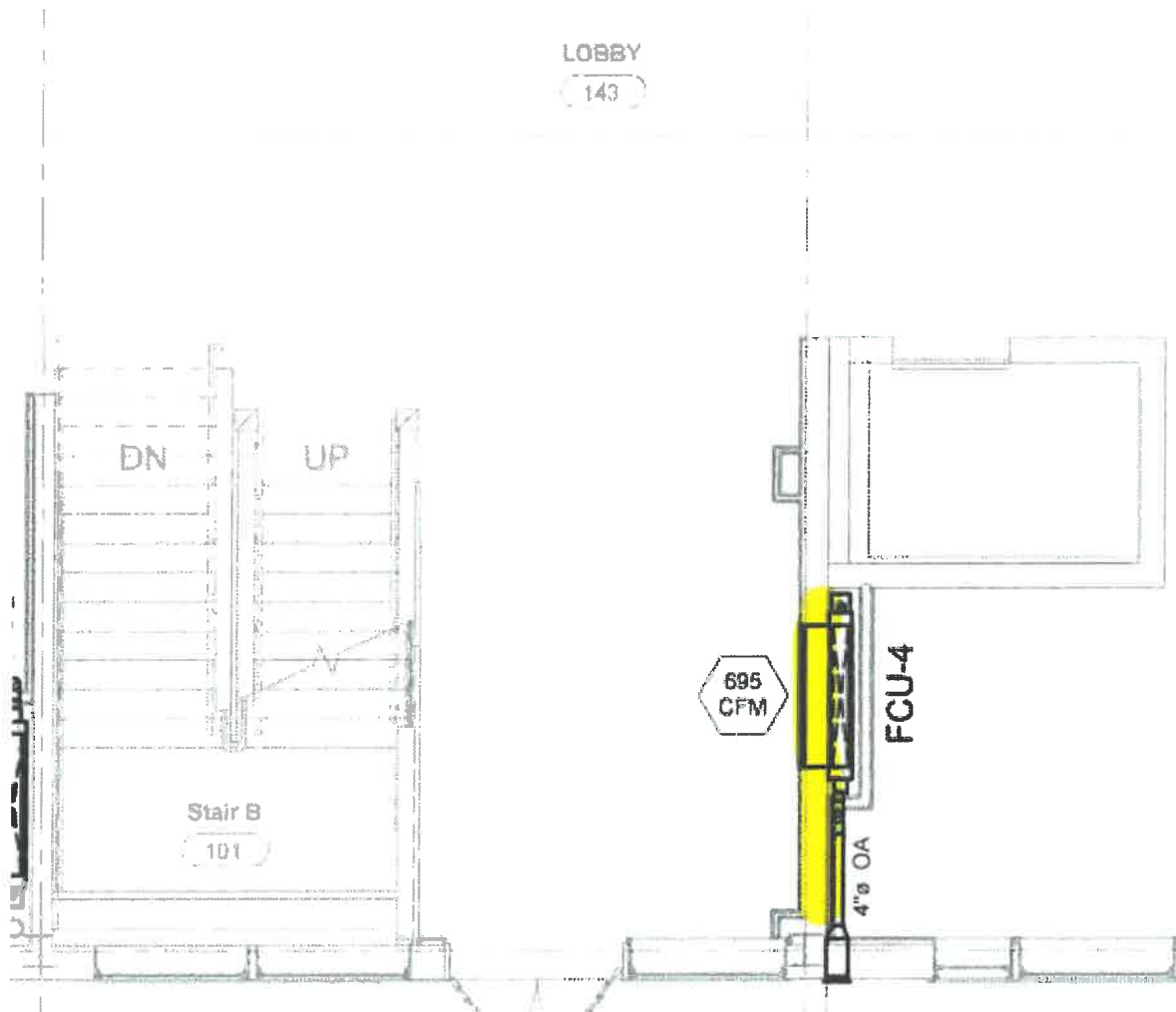
In the existing lodge there is a wall (CMU) behind the elevator that is scheduled to receive a new fan coil unit (FCU-4) – see below detail from M2.03 & M4.01. There are two (2) penetrations required in the existing CMU wall to facility new ductwork and diffuser on the other side of this wall. The photo below indicates the proposed penetration layout. Please confirm structural support will be required to support the open in the CMU. Also, please provide the required structural support to support these openings.

Note this wall is a non-bearing CMU wall that is not connected to the elevator shaft and could be removed and replaced in its entirety if the Owner desires.

Thank You
C. Travis Arey

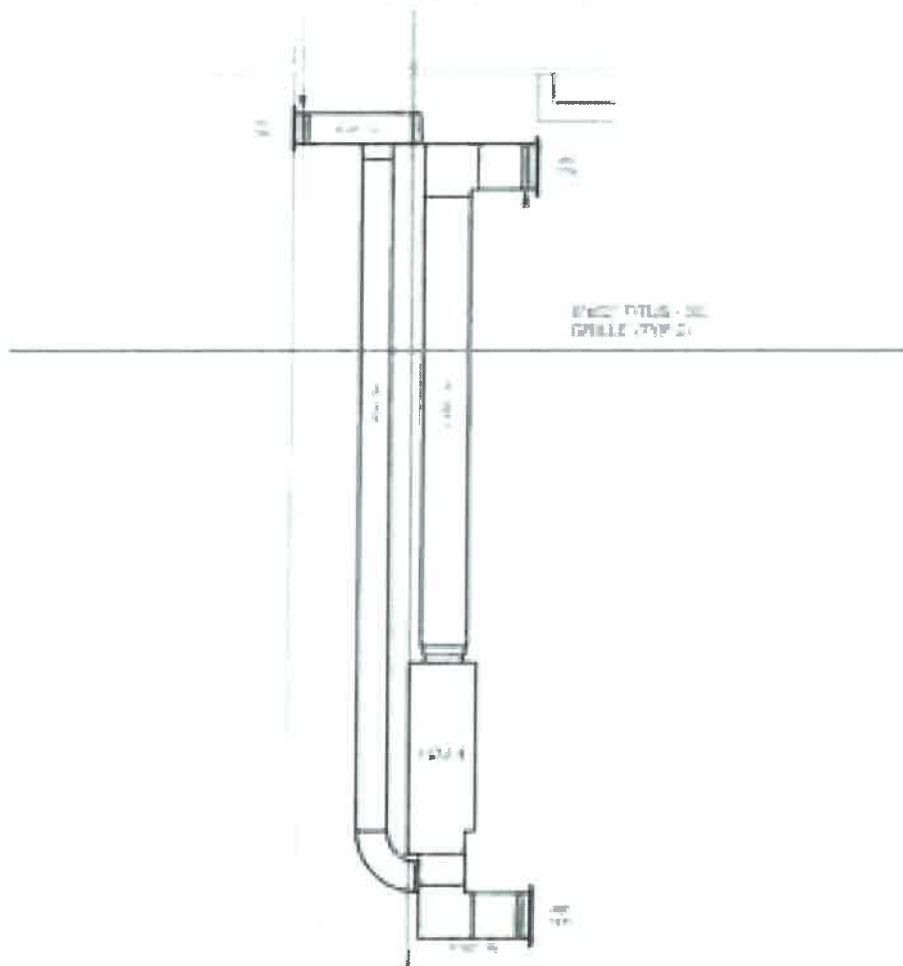
Paramount Builders, LLC
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M2.03



M4.01

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FCU-4 TYPICAL DETAIL

$$12) \frac{12}{34} = 1.0$$



Paramount Job #	181
Paradigm Project #	1732

Change Order Proposal:

Contact: C. Travis Arey
Date: 3/18/2021

Project: Cacapon Lodge Additions & Alterations
WV State Purchase Order #: CPO 0310 6546 DNR1900000001

	Quantity	Unit	Material	Extension	Labor	Extension	Subcontract	Extension
Contract Hardware Quote - Furnish only	1	LS	\$ 1,167.26	\$ 1,167.26	-	-	-	-
Install Frame (2 men x .5 hours)	1.0	HM	-	-	-	-	-	-
Install Door and Hardware (2men x .5 hours)	1.0	HM	-	-	115.00	115.00	-	-
Demolition - Included in Base Contract			-	-	-	-	-	-
Masonry Patch at Door - Included in Base Contract			-	-	-	-	-	-
			-	-	-	-	-	-
Subtotal				\$ 1,167		\$ 230		\$ 230
			Sales Taxes:	\$ 82		\$ 76		\$ 76
			Subtotals:	\$ 1,249		\$ 306		\$ 306
			Material:	\$ 1,248.97				
			Labor:	\$ 305.90				
			Subtotal:	\$ 1,554.87				
			GC O&P (15%):	\$ 233.23				
			L&M Subtotal:	\$ 1,788.10				
			Subcontractor:	\$ -				
			Sub Bond 1%:	\$ -				
			Subtotal:	\$ -				
			GC O&P on Subcontractors (10%):	\$ -				
			Sub Subtotal:	\$ -				
			Subtotal:	\$ 1,788.10				
			Contractors Liability Insurance (1.5%):	\$ 26.82				
			Builders Risk Premium	\$ 4.54				
			GC Bond (1%):	\$ 18.19				
			Total:	\$ 1,837.65				

Notes:
Per RFI 301 Response

Project: 301158 - CACAPON LODGE ADDITIONS AND ALTERATIONS
Contemplated Change Order # 34
New Door G007A

1	Single Door #G007A				LH
1	HMD LP 18 A60 4070 F CUF 1 3/4 LH (C1)				
1	SU 16 CRS 534 SGL 4070 T2 CUF LH (A09_EO4D-; H1)				
3	Hinges	5BB1 4 1/2 x 4 1/2	652	IV	
1	Lockset	W561BDC D	626	FL	
1	Interchangeable Core	C606	626	FL	
1	Door Closer	SC71A RW/PA	689	FL	
1	Kickplate	8400 10" x 34" B-CS	US32D	IV	
1	Wall Bumper	WS406/407CCV	US32D	IV	
1	Door Seal	188SBK 1 x 36" 2 x 84"		ZE	

Section Totals

Finish Hardware	440.81
Hollow Metal	726.45
Pre-Tax Total	1,167.26



Request for Information

Date: 3/5/2021

RFI # 301

To: Paradigm Architecture
2223 Cheat Rd – Suite 300
Morgantown, WV 26508

Cacapon Lodge Additions & Alterations
Paramount Job# 181
Paradigm Job# 1732

RE: Existing Lodge – Door G007A Schedule

SUBJECT:

Reference Drawing Details: A1.50, A2.16, A4.00 & Section 087100 – Door Hardware

In drawing A1.50, Note #2, indicates for the door (left) in Storage Room 007 to be removed. In drawing A2.16, it graphically denotes a new door in this location with the door number G007A. However, G007A is not shown in the door schedule or the specification – thus, there is no door, frame, or hardware information included in the Contract Documents.

Please provide a schedule for G007A for doors, frames and hardware.

Thank You
C. Travis Arey

Paramount Builders, LLC
PO Box 1370
St. Albans WV 25177
P – 304-727-2770
F – 304-727-0302

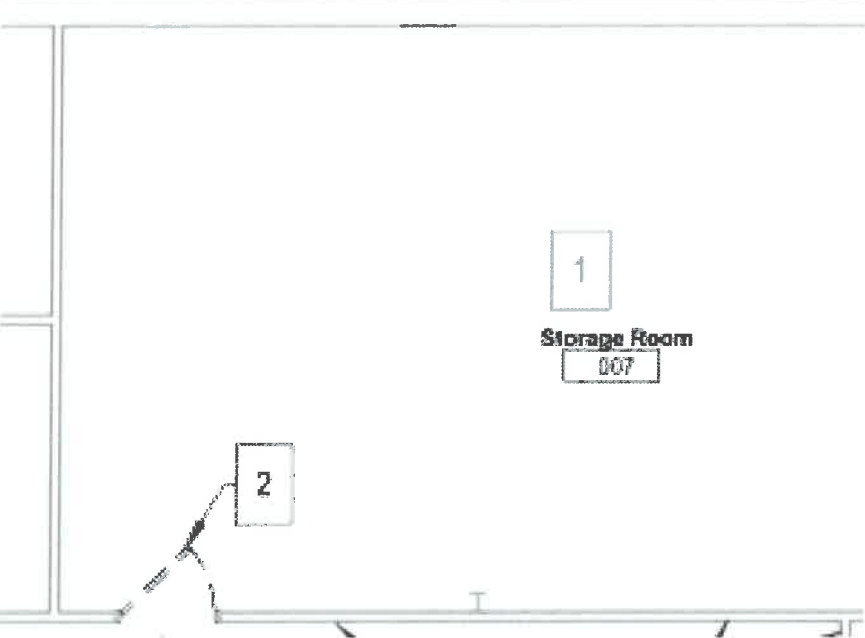
For Door G007A using heading below.
HEADING #32 (SET #32)

Opening Description:
4' 0" x 7' 0" x HMD Type F x HMF Type F1 x 45Min

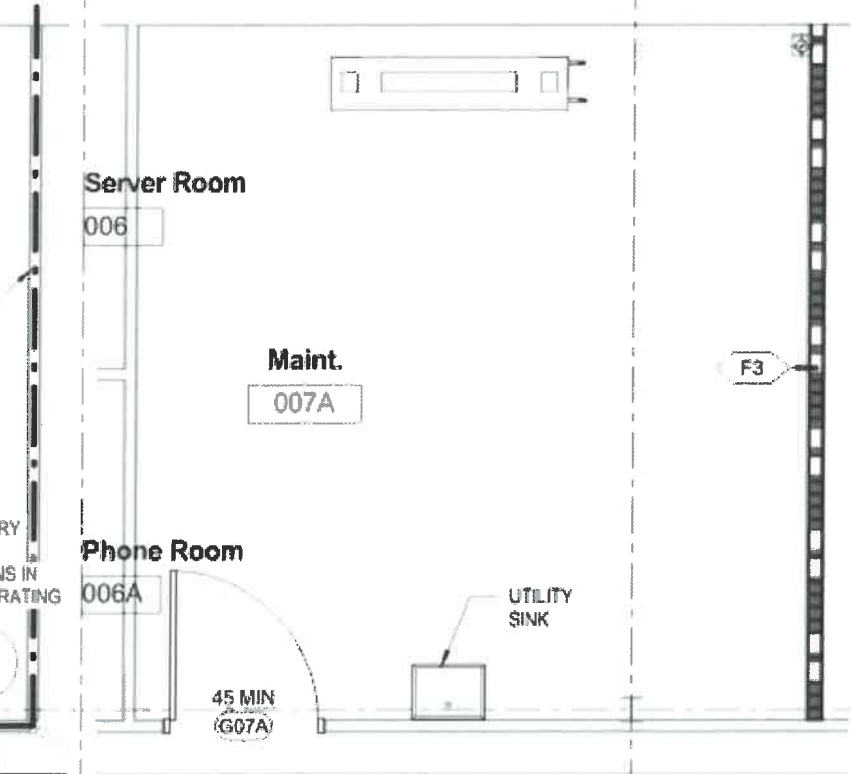
3 Hinges 5BB1 4 1/2 x 4 1/2 652 IV
1 Lockset W561BDC D 626 FL
1 Interchangeable Core C606 626 FL
1 Door Closer SC71 RW/PA 689 FL
1 Kickplate 8400 10" x 34" B-CS US32D IV
1 Wall Bumper WS406/407CCV US32D IV
1 Door Seal 188SBK 1 x 36" 2 x 84" ZE

Steve Konya II
3/8/21

Drawing A1.50



Drawing A2.16



Drawing 4.00 – Door Schedule

C	G006	PR	3' - 0"	7' - 0"	1 3/4"	HM	F	44	F2	HM	H2	J2			C	
	G06A	PR	3' - 0"	7' - 0"	1 3/4"	FWSC	F	26	F1	HM	H9	J2	3 HR		-	MAGNETIC HOLD OPEN
	G09A		3' - 0"	7' - 0"	1 3/4"	FWSC	VL	19	F1	HM	H1	J1			C	
	G09B		3' - 0"	7' - 0"	1 3/4"	FWSC	VL	49	F1	HM	H1	J1			-	

Paramount Job #	181
Paradigm Project #	1732

Change Order Proposal:

Contact: C. Travis Arey
Date: 3/26/2021

[illegible]



Request for Information

Date: 3/5/2021

RFI # 300

To: Paradigm Architecture
2223 Cheat Rd – Suite 300
Morgantown, WV 26508

Cacapon Lodge Additions & Alterations
Paramount Job# 181
Paradigm Job# 1732

RE: Pergola Cross Bracing

SUBJECT:

Reference Drawing Details: A9.02

The pergola installer has erected the structures (exterior back patio and outside the Spa) in accordance with the drawings and is questioning the need for permanent cross bracing to support the structure from “racking”. Please note this structure is “free-standing” and is not connected to any other structure.

Please also note it does not appear there is a specification section provided for this section and no shop drawings have been submitted. The pergola has been installed based on the Architectural Drawings.

Please advise.

Thank You
C. Travis Arey

See the attached solution from Dave Simpson, this will also be applied to the double columns on the Spa Pergola.

Paramount Builders, LLC
PO Box 1370
St. Albans WV 25177
P - 304-727-2770
F - 304-727-0302

Steve Konya II
3/15/21



ADD 2x6 with 4 lag screws as shown
on each side of double columns



Paramount Job #	181
Paradigm Project #	1732

Change Order Proposal:

Contact: C. Travis Arey
Date: 3/26/2021

Project: Cacapon Lodge Additions & Alterations

WV State Purchase Order #: CPO 0310 6546 DNR1900000001

[illegible]

South Charleston Electric

3/17/2021

Paramount Builders

Travis Arey

Cacapon Lodge Additions and Alterations

COR RFI #255

Installation of receptacles, switches, and light fixtures per direction of RFI #255 in rooms 251 & 251A.

Quote-	\$	375.00
Material-	\$	142.90
7% Sales Tax-	\$	36.25
	\$	554.15
Labor- 7hrs @ \$64	\$	448.00
	\$	1,002.15
15% O.H. & Profit-	\$	150.32
	\$	1,152.47

Type #	Qty	Division	Catalog	Unit	\$
G01	2	FLUO	CLX L48 5000LM SEF RDL MVOLT GZ10 35K 80CRI WH		
G06	1	DOWN	LDN6 35/20 LO6AR LD MVOLT EZ10		

TOTAL \$350.00

PLUS FREIGHT

Eric Moore

Vice President

Job ID: JOB-0006
Project: cacapon extras



Takeoff

Vendor: GB_CHARLES

Labor Level: CONEST

16 Mar 2021 15:13:28

Phase: RFI #255 2518251A

Item #	Qty	U/M	Q/M	Size	Description	Material Unit	Material Result	Labor Unit	Labor Result
TITLE					20A-1G-GFCI	0.0000	0.00	0.0000	0.00
140027	2.00	EA	M	#12 MC	DUPLEX GFCI RECEPT COMM GRADE	14.9500	29.90	0.2200	0.44
140597	2.00	EA	M	20A	1G PLASTIC PLATE	0.4195	0.84	0.0600	0.12
150046	2.00	EA	M	1-DECORA	4"SQ CMB- KO FS- BRKT	1.5700	3.14	0.1200	0.24
150064	2.00	EA	M	2-1/8"D	1G 4"SQ PLASTER-RING	0.6660	1.33	0.0500	0.10
161128	12.00	EA	M	5/8"RISE 4.8-CI	TEK SCREW	0.1205	1.45	0.0170	0.20
100143	2.00	EA	M	#10 x 1"	8" PIGTAIL W/GRD SCREW	0.2982	0.60	0.0420	0.08
100159	1.00	EA	M	#12 SOL	PSH-IN 4-WIRE CONN	0.1250	0.13	0.0300	0.03
100158	2.00	EA	M	18-12	PSH-IN 3-WIRE CONN	0.1353	0.27	0.0250	0.05
70337	30.00	M	M	12/2	MC CABLE - ALUM JKT W/G	0.4938	14.81	0.0169	0.51
630361	5.00	EA	M	14>10-3 (2-CBL)	AC/MC HMR-ON BOT-MTD 1/4-FLNG HGR PSH-IN	1.2734	6.37	0.0320	0.16
630327	4.00	EA	M	14-2>10-3 & 3/8	AC/FLEX HGR PUSH-IN MTL/WOOD/STUD	0.5871	2.35	0.0320	0.13
670070	1.00	EA	M	3/8 (38AST)	AC/MC SNAP 2-TT INSUL	0.8519	0.85	0.0500	0.05
670091	2.00	EA	M	3/8 (3838AST)	AC/MC DX SNAP 2-TT INSUL	1.9867	3.97	0.0600	0.12
630342	1.00	EA	M		METAL/WOOD STUD PROTECTION PLATE	0.0721	0.07	0.0320	0.03
TITLE					20A 1P-SW COMM	0.0000	0.00	0.0000	0.00
140436	2.00	EA	M	#12 MC	1P TOGGLE COMMERCIAL -GRADE	2.2400	4.48	0.1800	0.36
140583	2.00	EA	M	20A	1G PLASTIC PLATE	0.3177	0.64	0.0500	0.10
150015	2.00	EA	M	1-TOGGLE	4"SQ CMB- KO CV- BRKT	1.6348	3.27	0.1200	0.24
150064	2.00	EA	M	1-1/2"D	1G 4"SQ PLASTER-RING	0.6660	1.33	0.0500	0.10
161128	10.00	EA	M	5/8"RISE 4.8-CI	TEK SCREW	0.1205	1.21	0.0170	0.17
100143	2.00	EA	M	#10 x 1"	8" PIGTAIL W/GRD SCREW	0.2982	0.60	0.0420	0.08
100159	1.00	EA	M	#12 SOL	PSH-IN 4-WIRE CONN	0.1250	0.13	0.0300	0.03
100158	2.00	EA	M	18-12	PSH-IN 3-WIRE CONN	0.1353	0.27	0.0250	0.05
70337	30.00	M	M	12/2	MC CABLE - ALUM JKT W/G	0.4938	14.81	0.0169	0.51
630361	3.00	EA	M	14>10-3 (2-CBL)	AC/MC HMR-ON BOT-MTD 1/4-FLNG HGR PSH-IN	1.2734	3.82	0.0320	0.10
630327	4.00	EA	M	14-2>10-3 & 3/8	AC/FLEX HGR PUSH-IN MTL/WOOD/STUD	0.5871	2.35	0.0320	0.13

ENTER YOUR COMPANY NAME HERE!

Phone:
Web:

Phase: RF1 #255 251&251A

Item #	Qty	U/M	Q/M	Size	Description	Material Unit	Material Result	Labor Unit	Labor Result
670070	1.00	EA	M	3/8 (38AST)	AC/MC SNAP 2-IT INSUL	0.8519	0.85	0.0500	0.05
670091	2.00	EA	M	3/8 (3838AST)	AC/MC DX SNAP 2-IT INSUL	1.9867	3.97	0.0600	0.12
630342	1.00	EA	M		METAL/WOOD STUD PROTECTION PLATE	0.0721	0.07	0.0320	0.03
TITLE	2.00	EA	M	#12	4' 2-FLOOR SURFACE W/LENS/GYP/MTL-STD	0.0000	0.00	0.0000	0.00
120147	2.00	EA	M	48"	SURFACE W/LENS 2-LAMP-FLOOR	0.0000	0.00	0.2900	0.58
100157	2.00	EA	M	18-12	PSH-IN 2-WIRE CONN	0.1098	0.22	0.0200	0.04
100159	6.00	EA	M	18-12	PSH-IN 4-WIRE CONN	0.1250	0.75	0.0300	0.18
160367	4.00	EA	M	1/4 x 4"	TOGGLE BOLT	0.5824	2.33	0.0500	0.20
160411	4.00	EA	M	1/4 x 1 1/4"	PLTD FENDER WASHER	0.0975	0.39	0.0010	0.00
150197	2.00	EA	M	1-1/2"D 15.8-CI	4" OCTAGON COMB KO	0.9738	1.95	0.0800	0.16
150246	2.00	EA	M	5-8" RISE 3.8-CI	4" OCTAGON PLASTER RING	0.7541	1.51	0.0500	0.10
630434	2.00	EA	M	TSGB16	STUD BRACKET ADJ 11 TO 18" OC	2.9025	5.81	0.0300	0.06
161128	6.00	EA	M	#10 x 1"	TEK SCREW	0.1205	0.72	0.0170	0.10
70337	20.00	M	M	12/2	MC CABLE - ALUM JKT W/G	0.4938	9.88	0.0169	0.34
630327	2.00	EA	M	14-2>10-3 & 3/8	AC/FLEX HGR PUSH-IN MTL/WOOD/STUD	0.5871	1.17	0.0320	0.06
670070	1.00	EA	M	3/8 (38AST)	AC/MC SNAP 2-IT INSUL	0.8519	0.85	0.0500	0.05
670086	2.00	EA	M	3/8 (383810AST)	AC/MC DX SNAP 2-IT SCR-CLP INS	1.9867	3.97	0.0500	0.10
TITLE	1.00	EA	M	#12	INCAND CEILING RND HI-HAT/GYP/M-STD	0.0000	0.00	0.0000	0.00
120513	1.00	EA	M	150 W	RND HI-HAT PRE WIRE 1-INCAND	0.0000	0.00	0.6250	0.63
161128	4.00	EA	M	#10 x 1"	TEK SCREW	0.1205	0.48	0.0170	0.07
160390	4.00	EA	M	#10	PLTD FLAT WASHER	0.0370	0.15	0.0010	0.00
100157	1.00	EA	M	18-12	PSH-IN 2-WIRE CONN	0.1098	0.11	0.0200	0.02
100159	3.00	EA	M	18-12	PSH-IN 4-WIRE CONN	0.1250	0.38	0.0300	0.09
70337	10.00	M	M	12/2	MC CABLE - ALUM JKT W/G	0.4938	4.94	0.0169	0.17
630327	1.00	EA	M	14-2>10-3 & 3/8	AC/FLEX HGR PUSH-IN MTL/WOOD/STUD	0.5871	0.59	0.0320	0.03
670070	1.00	EA	M	3/8 (38AST)	AC/MC SNAP 2-IT INSUL	0.8519	0.85	0.0500	0.05
670086	1.00	EA	M	3/8 (383810AST)	AC/MC DX SNAP 2-IT SCR-CLP INS	1.9867	1.99	0.0500	0.05
Phase Totals:						142.90		7.42	
Job Totals:						142.90		7.42	

ENTER YOUR COMPANY NAME HERE!

Phone:

Web:



Request for Information

Date: 12/16/2020

RFI # 255

To: Paradigm Architecture
2223 Cheat Rd – Suite 300
Morgantown, WV 26508

Cacapon Lodge Additions & Alterations
Paramount Job# 181
Paradigm Job# 1732

RE: Existing Lodge 2nd Floor – MEP Questions

SUBJECT:

- 1) There are no provisions or details in the plans for the electrical and plumbing requirements in rooms 251A (Janitor) and room 251 (Linen). The plans appear to show a mop sink in the janitor closet but there are no details on the P drawings for this sink. There is also no lighting or electrical data/power shown on the plans. Please clarify what is required in these rooms for electrical power, lighting, and plumbing.
- 2) The existing elevator lobby does not show any lighting on 2nd floor other than a D13 wall sconce. There is an existing can light in place now that has not been demo'd but there is no can light on the new plan. Please advise if the existing can light should remain or if a new G06 can light should be added in this area (See photo below).
Reference E2.56

Answers:

- 1) As indicated on P1.52, plumbing fixtures which were being replaced were to have the DCW, DHW, San, & Vent piping disconnected and reconnected. The plumbing demo sheets indicate that the mop sink was to stay in the same location. Re-connect existing piping as indicated. In regards to electrical. Install (2) 20A, 120V GFCI receptacles in Rm 251A and tie to the nearest receptacle circuit. Install (1) type G01 light fixture w/ switch in both rooms 251A and 251. Tie new lights to hallway lighting circuit.
- 2) Replace with a type G06 can light and tie to hallway 277V lighting circuit.

Thank You

Kenny Harper

Paramount Builders, LLC
PO Box 1370
St. Albans WV 25177
P – 304-727-2770
F – 304-727-0302

Paramount Job #	181
Paradigm Project #	1732

Change Order Proposal:

Contact: C. Travis Arey
Date: 3/26/2021

Project: **Cacapon Lodge Additions & Alterations**

WV State Purchase Order #: CPO 0310 6546 DNR19000000001

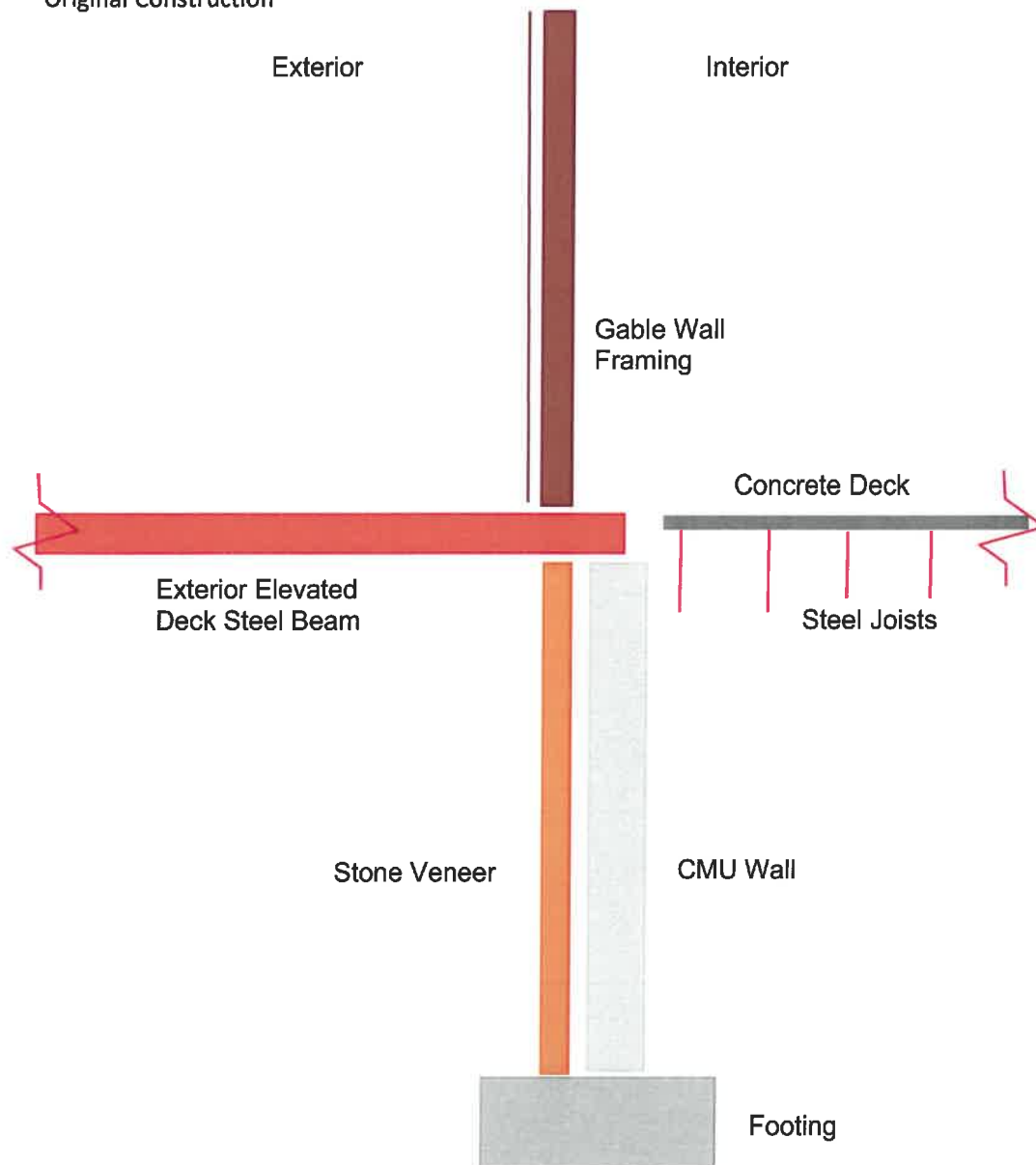
[illegible]

COP #130 – Existing Lodge – Gable Framed Walls

Per the below “existing conditions” photos it appears the gable framing was supported by existing exterior elevated deck. So, when the exterior elevated deck as removed (as scheduled per the documents) the exterior gable wall was no longer supported. As a result, the existing gable wall was required to be supported further. The below “as-built conditions” photos illustrate the framing required to support the gable wall. This is the same condition on the North and South gables of the existing facility.

Paramount has submitted the herein Change Order Proposal (COP) for the cost of the framing. This work is an unforeseen condition and is not included in the original scope of the Contract Documents.

Original Construction



COP #130 – Existing Lodge – Gable Framed Walls

Existing Conditions



COP #130 – Existing Lodge – Gable Framed Walls

As-Built Conditions





Allegheny Design Services

ADS RESPONSE FOR: RFI #278 Existing Gable Framing

RFI Information

Project Name: Cacapon Resort State Park Lodge Addition

Project Number: PRDGM-2017-04

Date Received: 2-8-2021

Subject: Existing Lodge Gable Framing

Response To: Sheryl Snider / Steve Konya II

Allegheny Design Services Reply:

The suggested alternative approach is acceptable.
Please note that this should not be a cost to the Owner.
Job requirements are to provide shoring where necessary. Where the CMU was removed for access this was a Means and Methods issue.

02-12-2021

David R. Simpson
Engineer Signature

Date



Request for Information

Date: 2/8/2021

RFI # 278

To: Paradigm Architecture
2223 Cheat Rd – Suite 300
Morgantown, WV 26508

Cacapon Lodge Additions & Alterations
Paramount Job# 181
Paradigm Job# 1732

RE: Existing Lodge – Gable Framed Walls

SUBJECT:

Please reference notes on detail 1H, drawing A5.11

Paramount recently discovered the existing framed gable end walls (both north and south end) of the existing lodge are not supported in their middle.

Originally, the end walls consisted of a masonry (CMU) wall, up to the 2nd floor elevation, and a 2"x6" framed wall bearing on the CMU from the 2nd floor up to the roof elevation.

It appears during the installation of the structural steel for the north and south patios, the top portions of the CMU wall were removed to allow for installation of the structural steel beam (W18x35) adjacent to the gable end of the building. Removal of the CMU has left the gable framed wall unsupported in the center.

Paramount's proposed solution is to remove 2 additional rows of CMU wall (to gain access) below the steel beam and install a 2x6 framed wall behind the steel beam to support the gable end wall. The added framed wall be installed and covered with plywood sheathing and concealed by the framed patio ceiling/soffit below the structure.

Please note there is limited access to in these areas and wood framing is being proposed in lieu of re-installing CMU masonry.

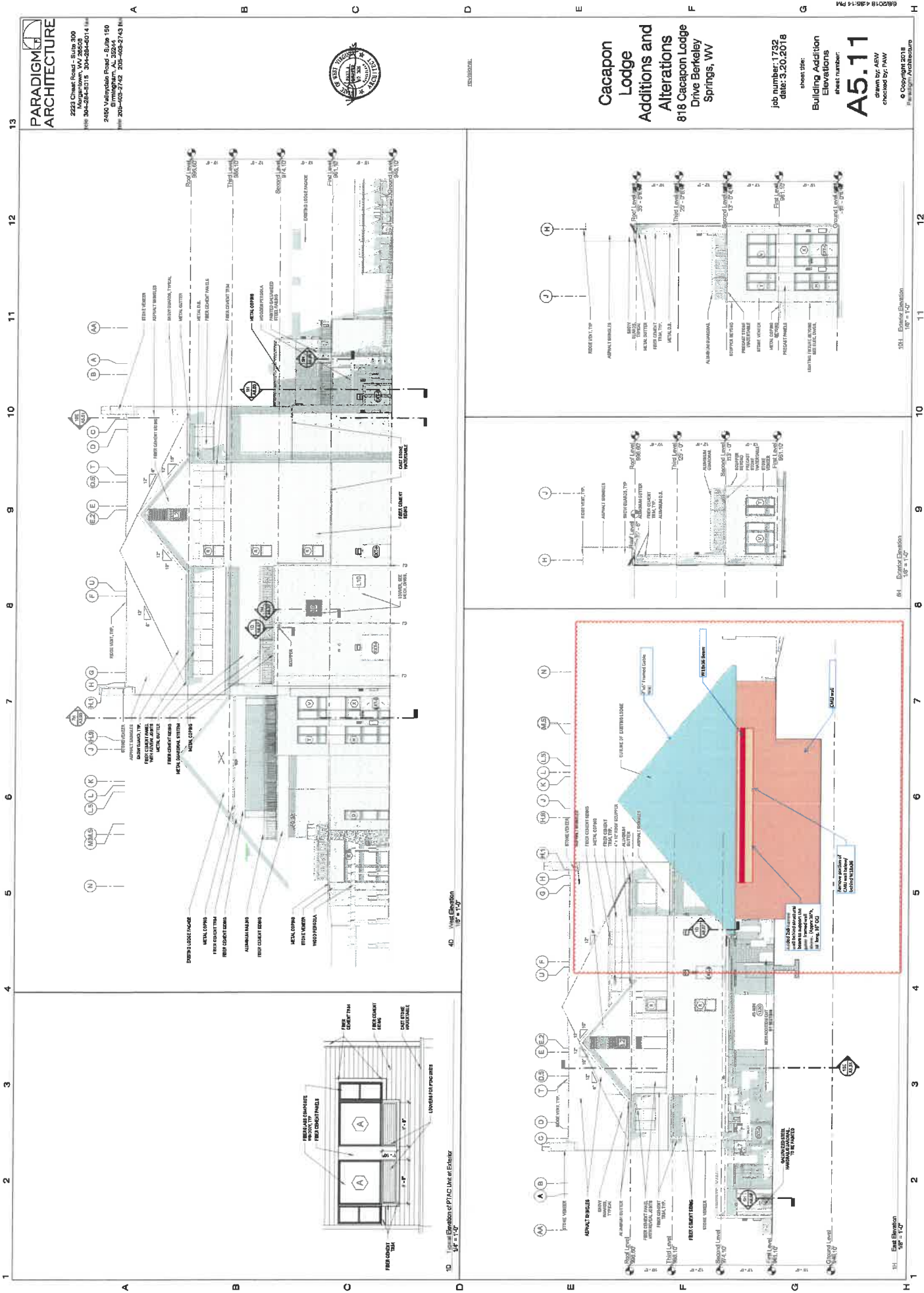
Please confirm this proposed solution is acceptable.

Thank You

Kenny Harper

Paramount Builders, LLC
PO Box 1370
St. Albans WV 25177
P – 304-727-2770
F – 304-727-0302





PARADIGM
ARCHITECTURE

2223 Chestnut Road - Suite 300
Birmingham, AL 35244
Phone: 205-251-1717 Fax: 205-251-1718
2450 Valleydale Road - Suite 150
Birmingham, AL 35244
Phone: 205-465-2742 Fax: 205-465-2743

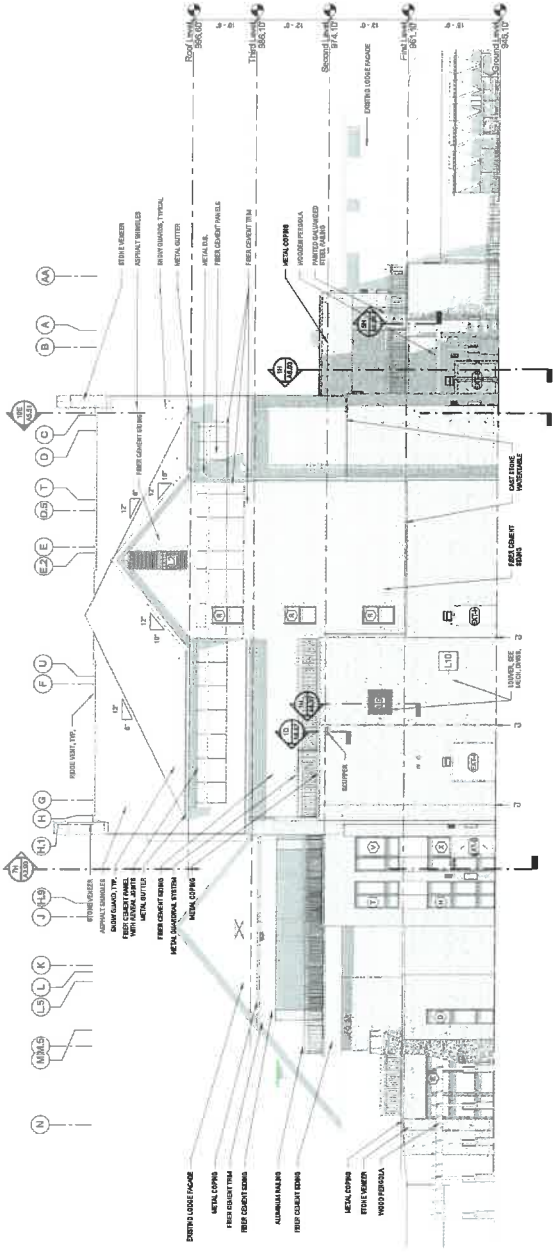


ENCLOSURE

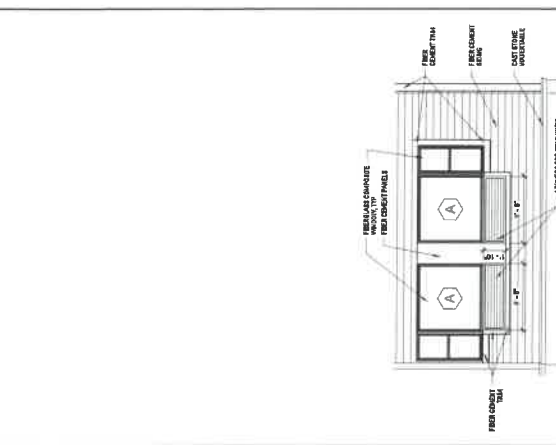
Cacapon Lodge Additions and Alterations

818 Cacapon Lodge
Drive Berkeley
Springs, WV

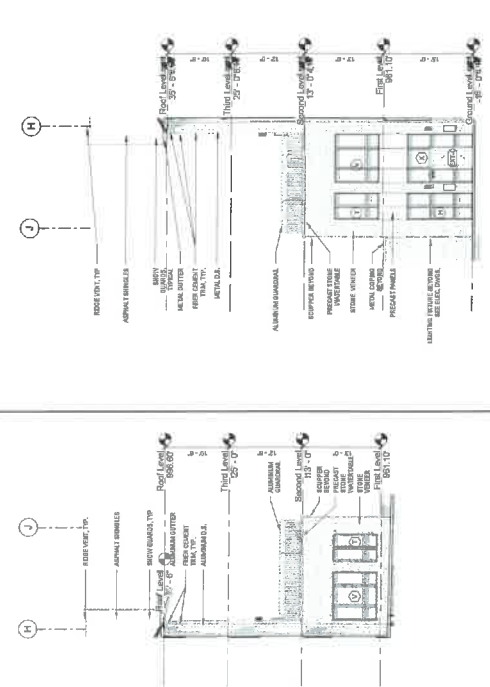
job number: 1732
date: 9.20.2018
sheet title:
Building Addition
Elevations
sheet number:
A5.11
drawn by: ARW
checked by: PAW
© Copyright 2018
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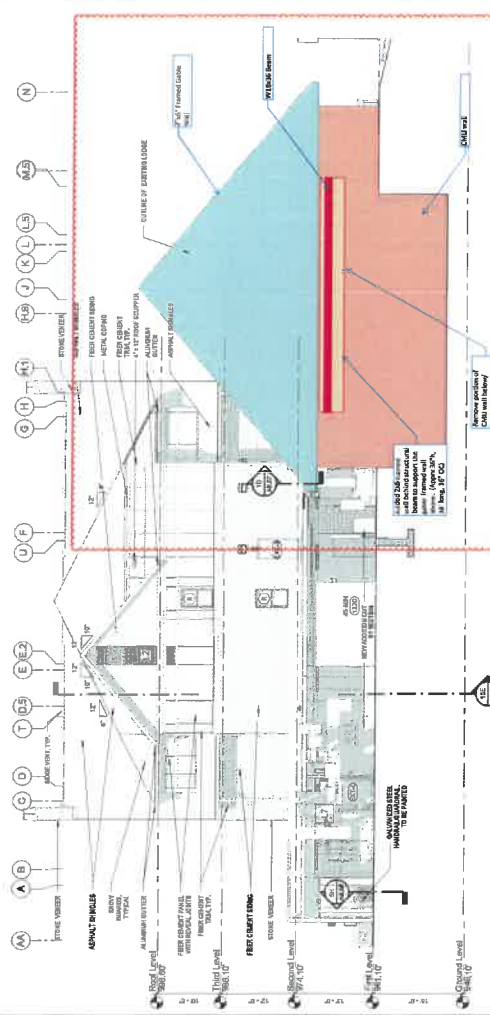
4D Front Elevation
1/8" = 1'-0"



1D Detail of Window
1/8" = 1'-0"



3H Section
1/8" = 1'-0"



3H Section
1/8" = 1'-0"

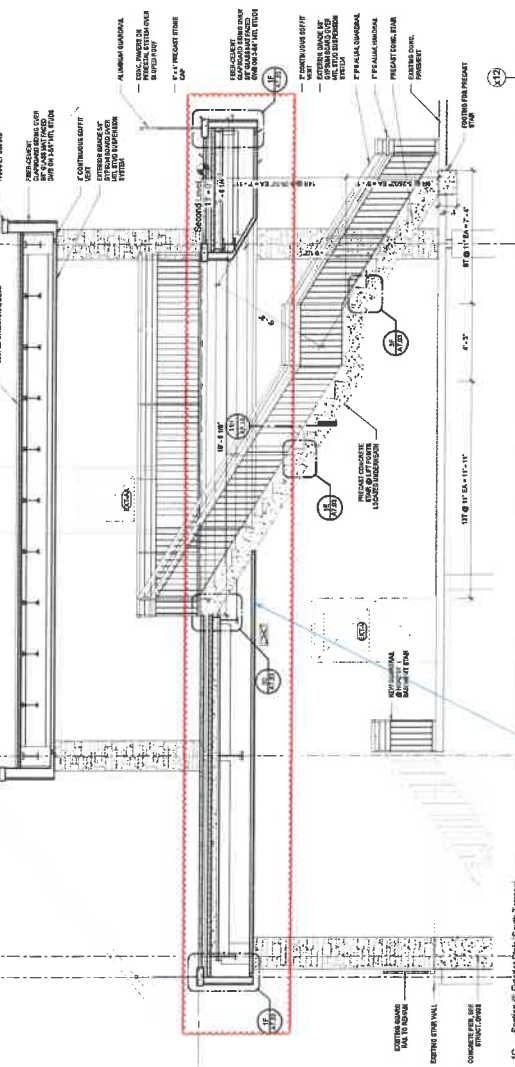


**Cacapon Lodge
Additions and
Alterations**
818 Cacapon Lodge
Drive Berkeley
Springs, WV

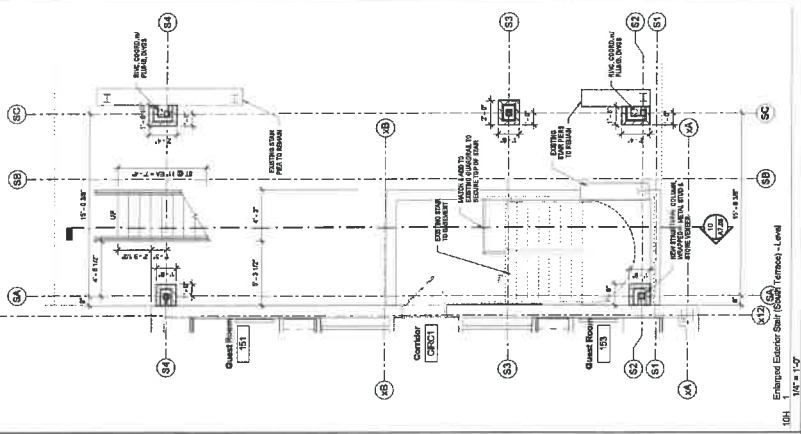
job number: 1732
date: 3.20.2018
sheet title:
sheet number:
checked by: ARW
checked by: PAW

A7.05

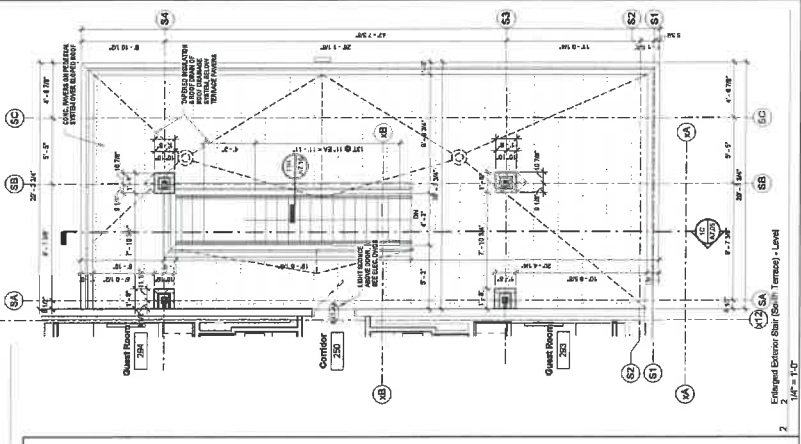
© Copyright 2018
Paradigm Architecture



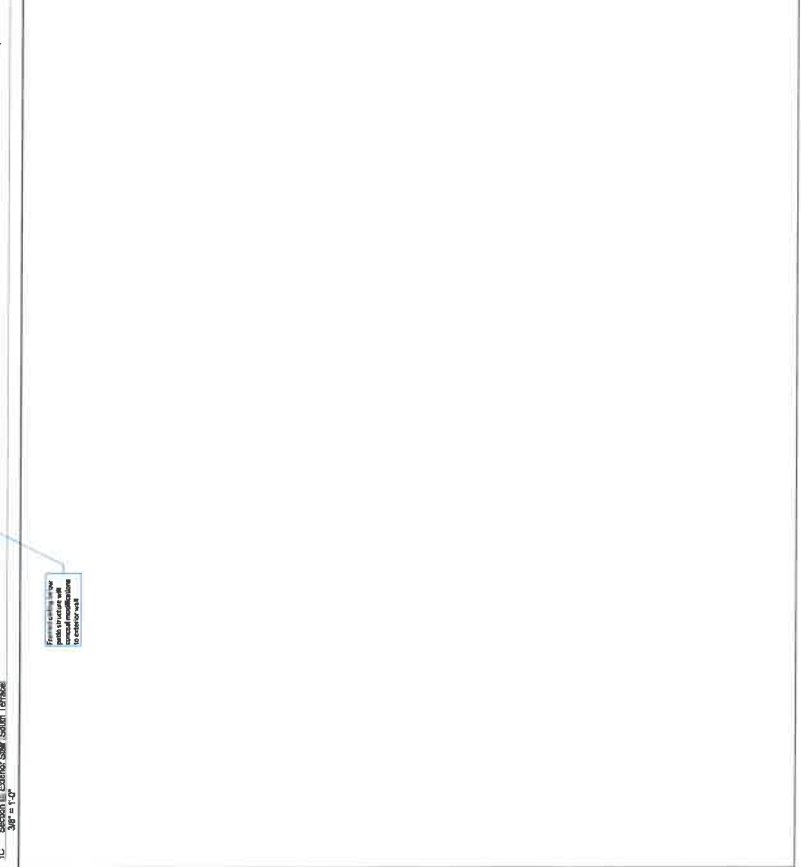
10 Section E: Exterior Stair (South Terrace)
1/4\"/>



2 Enlarged Exterior Stair (South Terrace) - Level 1
1/4\"/>



2 Enlarged Exterior Stair (South Terrace) - Level 2
1/4\"/>



2 Enlarged Exterior Stair (South Terrace) - Level 3
1/4\"/>

COR Cost Estimate



PO Box 1370
Saint Albans, WV 25177
Phone 304-727-2770
Fax 304-727-0302

Paramount Job # 181
Paradigm Project # 1732

Work Description: **RFI #198 Existing Lodge - Overhead Repairs**

Change Order Proposal: **131**

Project: **Cacapon Lodge Additions & Alterations**

WV State Purchase Order #: CPO 0310 6546 DNR1900000001

Contact: C. Travis Arey
Date: 4/16/2021

	Quantity	Unit	Material	Extension	Labor	Extension	Subcontract	Extension
Treated 2x4 Framing	24	LF	\$ 1.37	\$ 32.88	\$ -	\$ -	\$ -	\$ -
Treated 2x8 Framing	24	LF	\$ 1.90	\$ 45.60	\$ -	\$ -	\$ -	\$ -
Treated 2x12 Framing	12	LF	\$ 2.05	\$ 24.60	\$ -	\$ -	\$ -	\$ -
Exterior Grade Plywood	2	Sheets	\$ 85.00	\$ 170.00	\$ -	\$ -	\$ -	\$ -
Shingles	1	SQ	\$ 100.00	\$ 100.00	\$ -	\$ -	\$ -	\$ -
Paint	1	Gal	\$ 60.00	\$ 60.00	\$ -	\$ -	\$ -	\$ -
Caulking	4	Tube	\$ 9.00	\$ 36.00	\$ -	\$ -	\$ -	\$ -
Hardware / Fasteners	1	LS	\$ 150.00	\$ 150.00	\$ -	\$ -	\$ -	\$ -
Small Tools	1	LS	\$ 100.00	\$ 100.00	\$ -	\$ -	\$ -	\$ -
Delivery	1	LS	\$ 75.00	\$ 75.00	\$ -	\$ -	\$ -	\$ -
Labor - 2 men x 2 days	16	MH	\$ -	\$ -	\$ 115.00	\$ 1,840.00	\$ -	\$ -
Subtotal			\$ 794	\$ 794	\$ 1,840	\$ 1,840	\$ -	\$ -
			Sales Taxes: \$ 56	\$ 56	Labor Burden: \$ 607	\$ 607	\$ -	\$ -
			Subtotals: \$ 850	\$ 850		\$ 2,447	\$ -	\$ -
			Material: \$ 849.67					
			Labor: \$ 2,447.20					
			Subtotal: \$ 3,296.87					
			GC O&P (15%): \$ 494.53					
			L&M Subtotal: \$ 3,791.40					
			Subcontractor: \$ -					
			Sub Bond 1%: \$ -					
			Subtotal: \$ -					
			GC O&P on Subcontractors (10%): \$ -					
			Sub Subtotal: \$ -					
			Subtotal: \$ 3,791.40					
			Contractors Liability Insurance (1.5%): \$ 56.87					
			Builders Risk Premium \$ 9.62					
			GC Bond (1%): \$ 38.58					
			Total: \$ 3,896.47					

Notes:
- Per RFI #198



Request for Information

Date: 8/5/2020

RFI # 198

To: Paradigm Architecture
2223 Cheat Rd – Suite 300
Morgantown, WV 26508

Cacapon Lodge Additions & Alterations
Paramount Job# 181
Paradigm Job# 1732

RE: Existing Lodge – Gable Overhang Issues / Repairs

SUBJECT:

Follow up to discussions at 7/27 site meeting.

Please see the photos below showing the existing overhang soffit at the north gable end of the existing building (Near precast stairs).

As you will see, the framing and roof sheathing has failed from deterioration and the gable overhang has now dropped approx.. 4"-6", and is only supported by the adjacent roof joists and the roof shingles/sheathing.

Please advise on how we should proceed in this area.

Owner informed G.C. to proceed with repairs, and bill for time and material.

Steve Konya II
11/5/20

Thank You

Kenny Harper

Paramount Builders, LLC
PO Box 1370
St. Albans WV 25177
P - 304-727-2770
F - 304-727-0302





Paramount Job #	181
Paradigm Project #	1732

Change Order Proposal:

Contact: C. Travis Arey
Date: 4/16/2021

Project: Cacapon Lodge Additions & Alterations

WV State Purchase Order #: CPO 0310 6546 DNR1900000001

[illegible]

CORNERSTONE INTERIORS

Change Order Submitted For:

Scope of work:
RFI 293

Material Total	449.68
-----------------------	---------------

Direct Labor Burden	18%	476.70
---------------------	-----	--------

Material & Labor Sub Total	3,574.75
---------------------------------------	-----------------

Total Change Order Amount \$	4,110.96
-------------------------------------	-----------------

Paramount Job #	181
Paradigm Project #	1732

Change Order Proposal:

Project: Cacapon Lodge Additions & Alterations

WV State Purchase Order #: CPO 0310 6546 DNR1900000001

Contact: C. Travis Arey
Date: 4/16/2021

[illegible]

PO Box 412
Eleanor, WV 25070
PHONE: 304-586-4700
FAX: 304-586-9540
WV License: WV025109

CORNERSTONE INTERIORS

Change Order Request RFI 269

Change Order Submitted For:

Job Name:	Cacapon Lodge	C/O Date:	2.25.21
Contractor:	Paramount Builders	C/O No:	109
		Job No.	4231

Scope of work:
RFI -269

Materials

	Quantity		Cost	Total
Club Room				
7300 main channel	500	lf	0.77	385.00
7800 wall mould	280	lf	0.45	126.00
XL7348 4ft tees	260	lf	0.77	200.20
XL7328 2ft tees	130	lf	0.77	100.10
HW wire	69	pcs	0.25	17.25
RCP panel	1200	sf	0.98	1,176.00
				-
Electric Room				
3.58 metal track	60	lf	0.62	37.20
3.58 metal studs	100	lf	0.64	64.00
5/8 GWB	120	sf	0.48	57.60
GWB Compound	1956	sf	0.11	215.16
GWB Tape	1956	sf	0.01	19.56
Cornerbead	6	pcs	3.24	19.44
dsp114 screws	1223	ea	0.05	61.15
				-
				-
	Material		Cost	2,478.66

Sales Tax 6.00% 148.72

Material Total 2,627.38

Labor

	Quantity		Cost	Total
Carpenter Rate	56	hrs	57.50	3,220.00
Laborer	4	hrs	53.74	214.96
				-
				-
				-
				-
				-
				-
				-
				-

Direct Labor Burden 18% 579.60

Labor Total 4,014.56

Material & Labor Sub Total 6,641.94

Overhead & Profit 15.00% 996.29

Total Change Order Amount \$ 7,638.23



Request for Information

Date: 2/3/2021

RFI # 269

To: Paradigm Architecture
2223 Cheat Rd – Suite 300
Morgantown, WV 26508

Cacapon Lodge Additions & Alterations
Paramount Job# 181
Paradigm Job# 1732

RE: Existing Lodge – Basement Office Ceiling Plan

SUBJECT:

Considering the extensive, additional, ceiling demolition that was required due to the unforeseen existing conditions in the existing basement office and game room space.

Reference COP #93 for the new acoustic ceiling in the existing lodge basement, office and club rooms spaces

Please provide a reflected ceiling plan to clarify the required locations for HVAC returns/supplies, lighting fixtures and any other ceiling devices/fixtures.

See attached.

Thank You

Kenny Harper

Steve Konya II
2/10/21

Paramount Builders, LLC
PO Box 1370
St. Albans WV 25177
P - 304-727-2770
F - 304-727-0302

1 2 3 4 5 6 7 8 9 10 11 12 13

PARADIGM
ARCHITECTURE

2223 Chest Road - Suite 300
Martinsburg, WV 25808
Phone: 206-453-5215 Fax: 206-453-5214
2450 Valleydale Road - Suite 150
Birmingham, AL 35244
Phone: 205-403-5742 Fax: 205-403-5743



Revised:
27 5.17.2020 Ceiling Additions
27 5.10.2021 RCP

Cacapon Lodge Additions and Alterations
818 Cacapon Lodge Drive Berkeley Springs, WV

job number: 1739
date: 5.20.2018

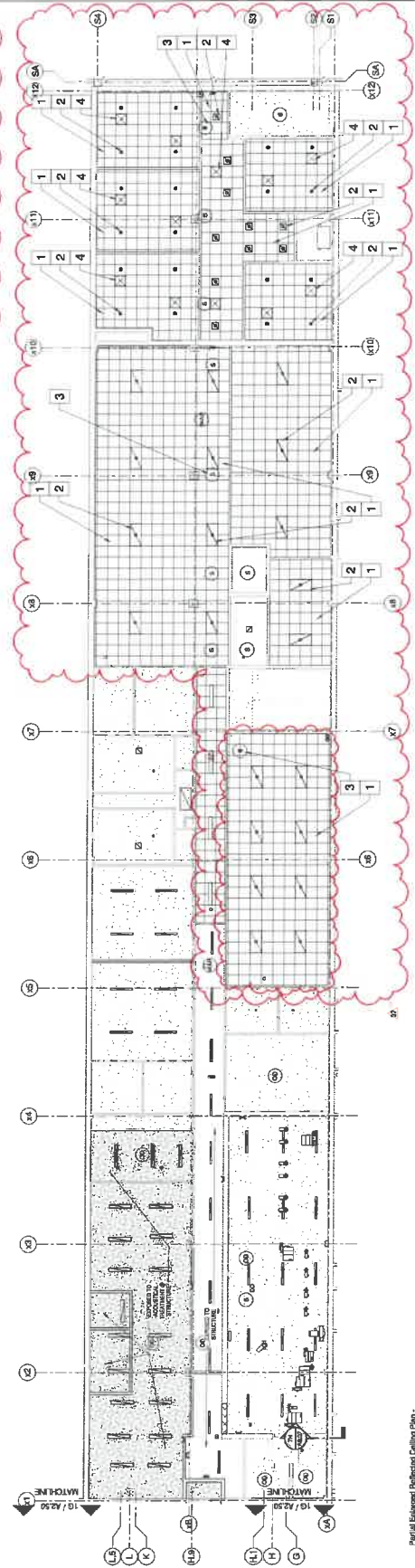
sheet title:
Partial Enlarged Ground Floor Reflected Ceiling Plan

sheet number:
A2.50A

drawn by: Author
checked by: Checker
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Paradigm Architecture

Basement Reflected Ceiling Plan Keynotes

Keynote	Description
1	METALLIC PAINT SURFACES ACQUATIC CEILING TILE SYSTEM AT HEIGHT OF FIVE FEET CEILING.
2	CEILING LIGHTING AT PREVIOUS LOCATIONS. SEE ELEC. SYMBOLS FOR ANY ADDITIONAL NOTES.
3	CEILING LIGHTING AT PREVIOUS LOCATIONS. SEE ELEC. SYMBOLS FOR ANY ADDITIONAL NOTES.
4	CEILING LIGHTING AT PREVIOUS LOCATIONS. SEE ELEC. SYMBOLS FOR ANY ADDITIONAL NOTES.
5	CEILING LIGHTING AT PREVIOUS LOCATIONS. SEE ELEC. SYMBOLS FOR ANY ADDITIONAL NOTES.
6	CEILING LIGHTING AT PREVIOUS LOCATIONS. SEE ELEC. SYMBOLS FOR ANY ADDITIONAL NOTES.
7	CEILING LIGHTING AT PREVIOUS LOCATIONS. SEE ELEC. SYMBOLS FOR ANY ADDITIONAL NOTES.
8	CEILING LIGHTING AT PREVIOUS LOCATIONS. SEE ELEC. SYMBOLS FOR ANY ADDITIONAL NOTES.
9	CEILING LIGHTING AT PREVIOUS LOCATIONS. SEE ELEC. SYMBOLS FOR ANY ADDITIONAL NOTES.
10	CEILING LIGHTING AT PREVIOUS LOCATIONS. SEE ELEC. SYMBOLS FOR ANY ADDITIONAL NOTES.
11	CEILING LIGHTING AT PREVIOUS LOCATIONS. SEE ELEC. SYMBOLS FOR ANY ADDITIONAL NOTES.
12	CEILING LIGHTING AT PREVIOUS LOCATIONS. SEE ELEC. SYMBOLS FOR ANY ADDITIONAL NOTES.
13	CEILING LIGHTING AT PREVIOUS LOCATIONS. SEE ELEC. SYMBOLS FOR ANY ADDITIONAL NOTES.



Partial Enlarged Ground Floor Reflected Ceiling Plan -
1st Floor Level @ Laundry Area
1/8" = 1'-0"

Submitted for reference only



Work Description: Replace ACT in Basement

329

por

031

39

[illegible]

CORNERSTONE INTERIORS

Change Order Submitted For:

C/O Date:	11.3.20
C/O No:	105
Job No.	4231

Materials

Sales Tax	6.00%	459.25
------------------	--------------	---------------

Material Total	8,113.49
-----------------------	-----------------

Labor

Labor Total	13,947.34
--------------------	------------------

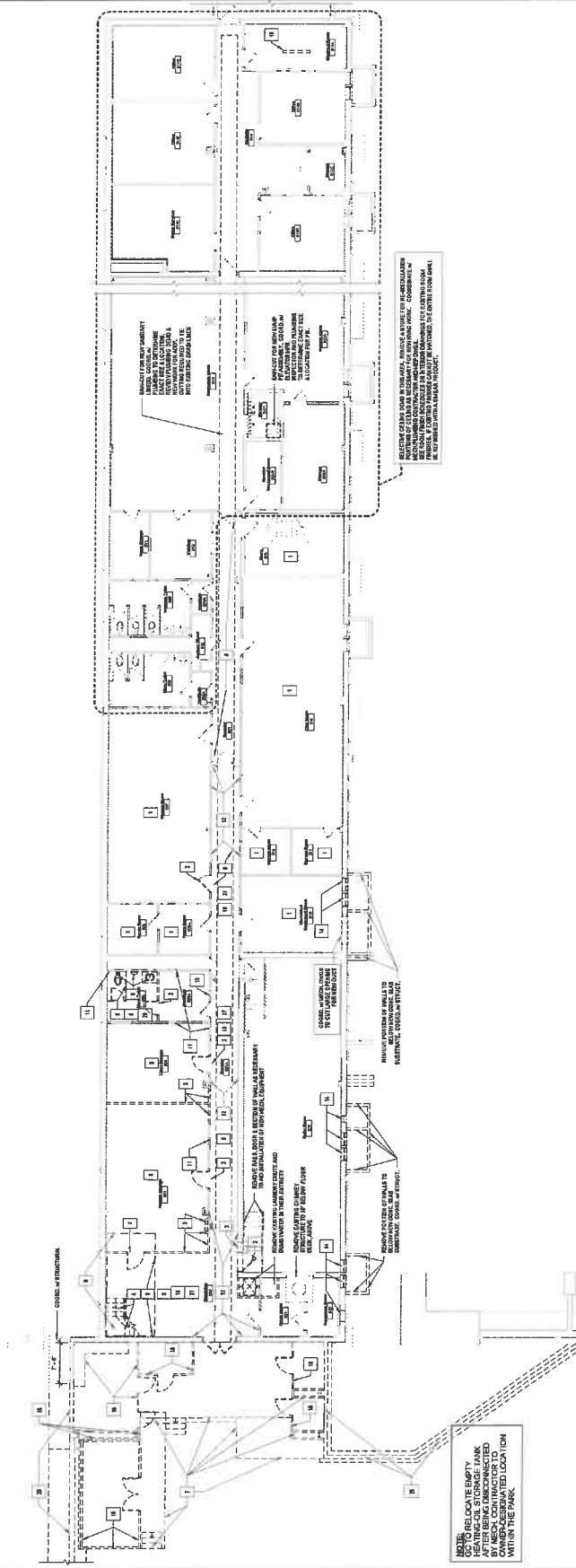
Material & Labor Sub Total	22,060.83
---------------------------------------	------------------

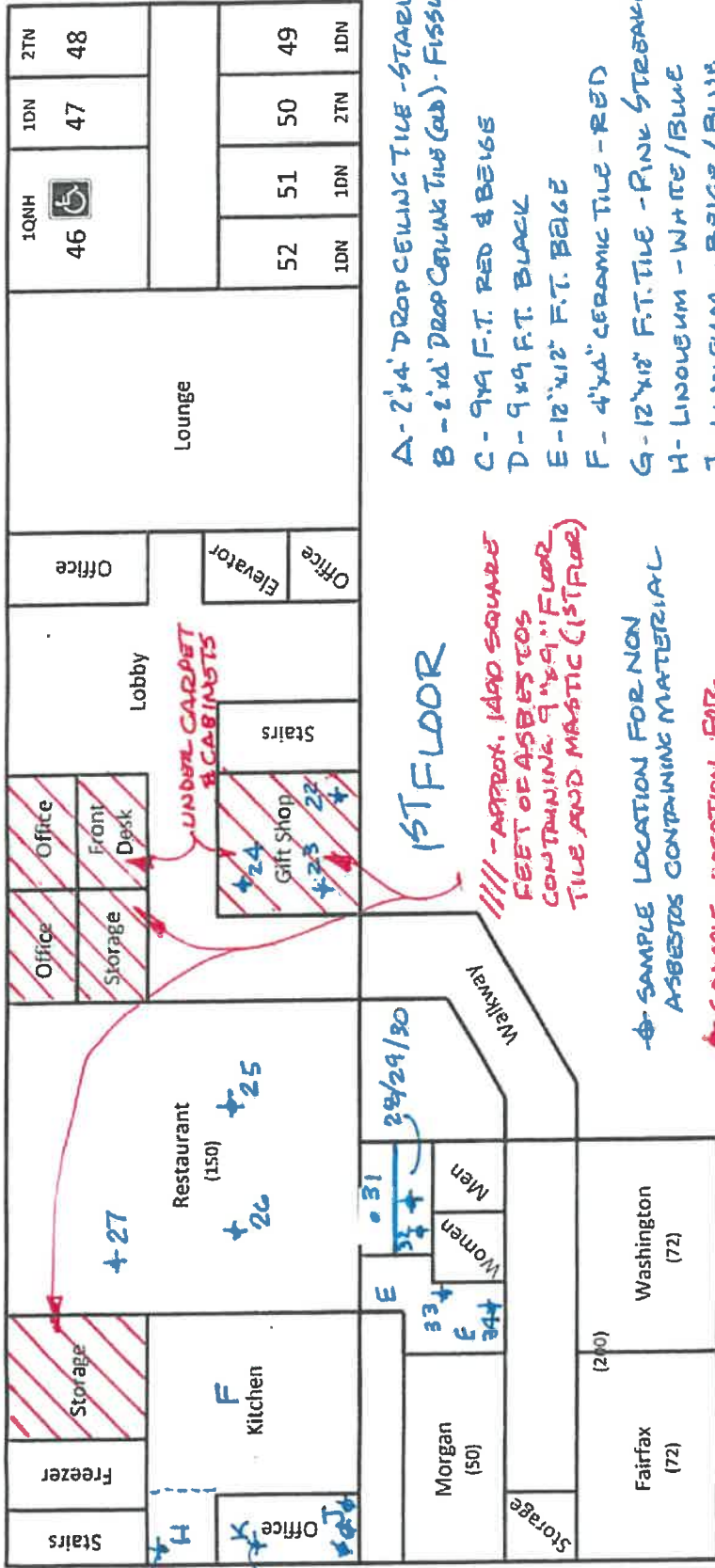
Overhead & Profit	15.00%	3,309.12
------------------------------	---------------	-----------------

Total Change Order Amount \$	25,369.95
-------------------------------------	------------------

Demolition Keynotes			
Keynote	Description	Keynote	Description
1	NO WORK IN THIS AREA.	21	REMOVE EXISTING WOOD SILL.
2	REMOVE EXISTING DOOR, FRAME, & HARDWARE.	22	REMOVE EXISTING PAINT - SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
3	REMOVE EXISTING EXTERIOR PARTITION AS SPECIFIED.	23	REMOVE EXISTING DOOR FRAME, AS SHOWN ON ARCHITECTURAL PLAN.
4	REMOVE EXISTING STAIR & LANDING COMPLETELY.	24	REMOVE EXISTING DOOR FRAME STRUCTURE AND SILLING.
5	REMOVE EXISTING EXTERIOR PARTITION, STAIR, RAMP, AND ACCESSORIES.	25	REMOVE EXISTING PORTION OF EXISTING WALL, COORDINATE WITH STRUCTURAL AND CIVIL.
6	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN IN PLUMBING SCHEDULE FOR ADDITIONAL INFORMATION.	26	REMOVE EXISTING PORTION OF EXISTING STAIR, CORRIDOR, OR BALCONY.
7	REMOVE EXISTING EXTERIOR DOOR, EYE IN WINDOW, INCLUDING FOUNDATION.	27	REMOVE EXISTING QUINCY SILL.
8	REMOVE EXISTING EXTERIOR PARTITION - SEE MECHANICAL & ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.	28	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.
9	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.	29	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.
10	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.	30	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.
11	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.	31	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.
12	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.	32	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.
13	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.	33	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.
14	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.	34	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.
15	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.	35	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.
16	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.	36	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.
17	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.	37	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.
18	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.	38	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.
19	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.	39	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.
20	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.	40	REMOVE EXISTING EXTERIOR PARTITION AS SHOWN ON ARCHITECTURAL PLAN.

DEMOLITION LEGEND	
	EXISTING PARTITION TO REMAIN
	EXISTING PARTITION TO BE REMOVED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING PART TO BE REMOVED AND REINSTALLED





A - 2'x4' DROP CEILING TILE - STABLET
 B - 2'x4' DROP CEILING TILE (AB) - FISSURED

C - 9'x9' F.T. RED & BEIGE

D - 9'x9' F.T. BLACK

E - 12'x12' F.T. BEIGE

F - 4'x4' CERAMIC TILE - RED

G - 12'x12' F.T. TILE - PINK STREAKED

H - LINOLEUM - WHITE / BLUE

J - LINOLEUM - BEIGE / BLUE

K - 2'x4' DROP CEILING TILE - FISSURED

L - GLUE PLUGS ON PLASTER

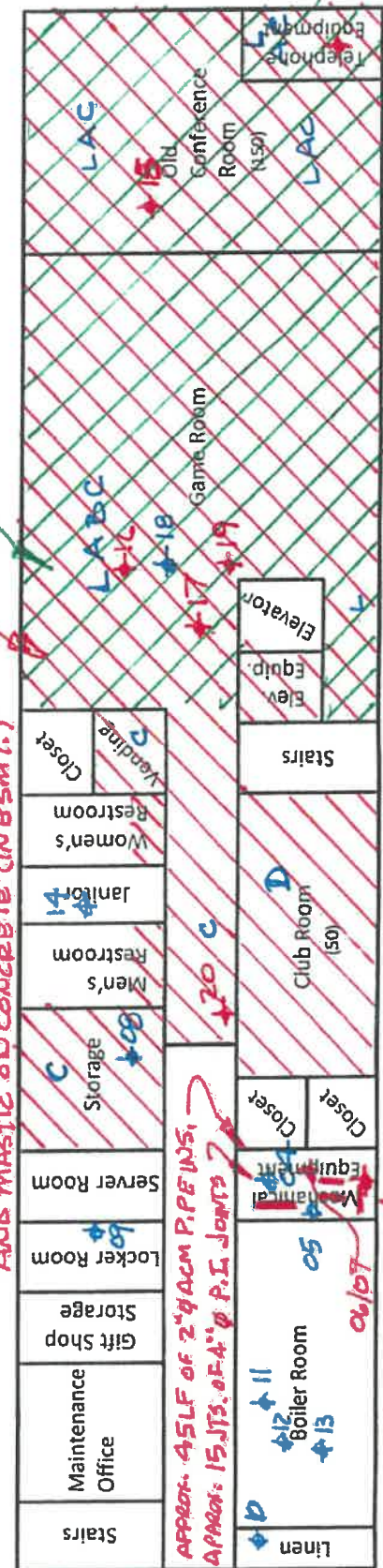
1ST FLOOR

/// - APPROX. 1000 SQUARE FEET OF ASBESTOS CONTAINING 9'x9' FLOOR TILE AND MASTIC (1ST FLOOR)

◆ SAMPLE LOCATION FOR NON ASBESTOS CONTAINING MATERIAL

◆ SAMPLE LOCATION FOR ASBESTOS CONTAINING MATERIAL

/// - APPROX. 688 SQUARE FEET OF ASBESTOS CONTAINING 9'x9' FLOOR TILE AND MASTIC ON CONCRETE (IN BSMT.)



APPROX. 4,375 (50.5%) OF ACM HVAC FLEX-JOINT MATERIAL

BASEMENT

21

Paramount Job #	181
Paradigm Project #	1732

Change Order Proposal:

Contact: C. Travis Arey
Date: 4/20/2021

Project: Cacapon Lodge Additions & Alterations

WV State Purchase Order #: CPO 0310 6546 DNR1900000001

[illegible]

South Charleston Electric

4/16/21

Paramount Builders

Travis Arey

Cacapon Lodge Additions and Alterations

Added Data Drops Ground Floor

Price to provide and install conduit, boxes, cable, and terminations for (10) POS and printer locations in kitchen, dining, bar, and spa area per Scott Fortney.

Quote-	\$ 2,795.00
Material-	\$ 25.27
7% Sales Tax-	\$ 67.97
	\$ 2,820.27
Labor- 4hrs @ \$64	\$ 256.00
	\$ 3,076.27
15% O.H. & Profit-	\$ 461.44
	\$ 3,537.71

Eric Moore
Vice President

Job ID: JOB-0006
Project: cacapon extras



Takeoff

Vendor: GB_CHARLES

Labor Level: CONEST

16 Apr 2021 23:13:37

Phase: ADDED DATA GRND FL

Item #	Qty	U/M	Q/M	Size	Description	Material Unit	Material Result	Labor Unit	Labor Result
TITLE	10.00	EA	M	EMPTY	3/4 EMT ON-CONCRETE	0.0000	0.00	0.0000	0.00
10054	10.00	FT	M	3/4	EMT	0.8810	8.81	0.0560	0.56
20737	1.00	EA	M	3/4	EMT FLD-BEND	0.0000	0.00	0.2000	0.20
30624	2.00	EA	M	3/4	EMT STEEL SS CONNECTOR	0.2750	0.55	0.0900	0.18
40237	2.00	EA	M	3/4	PLASTIC BUSHING	0.1000	0.20	0.0800	0.16
161559	2.00	EA	M	3/4	EMT 1-HOLE STEEL STRAP	0.2024	0.40	0.0600	0.12
161177	2.00	EA	M	3/16 x 1 1/2 - 3"	HAMMER DRILLED HOLE	0.0000	0.00	0.3200	0.64
161166	2.00	EA	M	#12 x 1 1/4"	PLASTIC ANCHOR	0.0429	0.09	0.0500	0.10
161137	2.00	EA	M	#12 x 1"	SHEET METAL SCREW	0.1755	0.35	0.0350	0.07
160393	2.00	EA	M	1/4"	PLTD FLAT WASHER	0.0515	0.10	0.0020	0.00
150005	1.00	EA	M	1-1/2"D	4"SQ 3/4- KO NO BRKT	1.4560	1.46	0.2400	0.24
TITLE	10.00	EA	M		3/4 EMT EMPTY METAL-BUILDING	0.0000	0.00	0.0000	0.00
10054	10.00	FT	M	3/4	EMT	0.8810	8.81	0.0560	0.56
30508	1.00	EA	M	3/4	EMT STEEL-SS COUPLING	0.2686	0.27	0.0400	0.04
30624	2.00	EA	M	3/4	EMT STEEL SS CONNECTOR	0.2750	0.55	0.0900	0.18
161559	2.00	EA	M	3/4	EMT 1-HOLE STEEL STRAP	0.2024	0.40	0.0600	0.12
500183	2.00	EA	M	1/8"	DRILL HOLE IN STEEL (UP TO 1/4" THICK)	0.0000	0.00	0.1400	0.28
161128	2.00	EA	M	#10 x 1"	TEK SCREW	0.1205	0.24	0.0340	0.07
160390	2.00	EA	M	#10	PLTD FLAT WASHER	0.0370	0.07	0.0020	0.00
TITLE	5.00	EA	M		1/2 EMT EMPTY METAL-BUILDING	0.0000	0.00	0.0000	0.00
10053	5.00	FT	M	1/2	EMT	0.4973	2.49	0.0500	0.25
30507	1.00	EA	M	1/2	EMT STEEL-SS COUPLING	0.1934	0.19	0.0320	0.03
161558	1.00	EA	M	1/2	EMT 1-HOLE STEEL STRAP	0.1227	0.12	0.0560	0.06
500183	1.00	EA	M	1/8"	DRILL HOLE IN STEEL (UP TO 1/4" THICK)	0.0000	0.00	0.1400	0.14
161128	1.00	EA	M	#10 x 1"	TEK SCREW	0.1205	0.12	0.0340	0.03
160390	1.00	EA	M	#10	PLTD FLAT WASHER	0.0370	0.04	0.0020	0.00
Phase Totals:							25.27		4.04

!ENTER YOUR COMPANY NAME HERE!

Phone:
Web:

Job Totals:

25.27

4.04

ENTER YOUR COMPANY NAME HERE!

Phone:

Web:



South Charleston Electric Company

We have prepared a quote for you

Additional CC Drops for Cacapon Lodge

Quote #1004034

Version 1

 304-201-7485

 www.alpha-tech.us



Services

Description	Price	Qty	Ext. Price
AT-CABLING (10) Additional Cat6 Drops	\$2,795.00	1	\$2,795.00
Subtotal:			\$2,795.00



Additional CC Drops for Cacapon Lodge

Prepared by:

Alpha Technologies
James Stewart
304-201-7485
jstewart@alpha-tech.us

Prepared for:

South Charleston Electric Company
1011 F Street
PO Box 8494
South Charleston, WV 25303
Eric Moore
(304) 541-3407
emoore@southcharlestonelectric.com

Quote Information:

Quote #: 1004034
Version: 1
Delivery Date: 04/07/2021
Expiration Date: 05/05/2021

Quote Summary

Description	Amount
Services	\$2,795.00
Total:	\$2,795.00

Alpha Technologies

Signature: _____

Name: James StewartTitle: Infrastructure Sales EngineerDate: 04/07/2021

South Charleston Electric Company

Signature: _____

Name: Eric Moore

Date: _____

Paramount Job #	181
Paradigm Project #	1732

Change Order Proposal:

Project: Cacapon Lodge Additions & Alterations

[illegible]

GANTT'S
EXCAVATING
& CONTRACTING INC.
SCOPE - CHANGE ORDER REQUEST

Date: 04/20/21
 Client: Paramount Builders

Attn: Travis Arey
 Re: Existing Lodge - South Patio Details

RFI Number: 251
 RFI Answers Dated: 12/8/2020

Project: **Cacapon Lodge Addition Change Order Request**

West Virginia Contractor License Number (WV12067)

Please accept our contract to furnish and install the following scope of work for the following price;

Tie-in of Downspout at South Patio to existing Storm Sewer

-- Test pitting existing utilities	2	ea					
-- Backhoe / Mini Excavator w/ Operator	8	hrs	@	\$	80.00	\$	640.00
-- Labor	8	hrs	@	\$	30.00	\$	240.00
-- Supervisor	8	hrs	@	\$	60.00	\$	480.00
Roof Drains							
-- 6" Sch 40 Pvc - 40 lf up to 80 lf	40	lf	@	\$	19.50	\$	780.00
-- Misc Fittings	12	ea	@	\$	76.25	\$	915.00
-- Stone bedding	20	tons	@	\$	15.85	\$	317.00
-- Haul Truck w/ Driver	1.5	hrs	@	\$	70.00	\$	105.00
-- Backhoe / Mini Excavator w/ Operator	8	hrs	@	\$	80.00	\$	640.00
-- Pipe Layer	8	hrs	@	\$	40.00	\$	320.00
-- Supervisor	8	hrs	@	\$	60.00	\$	480.00

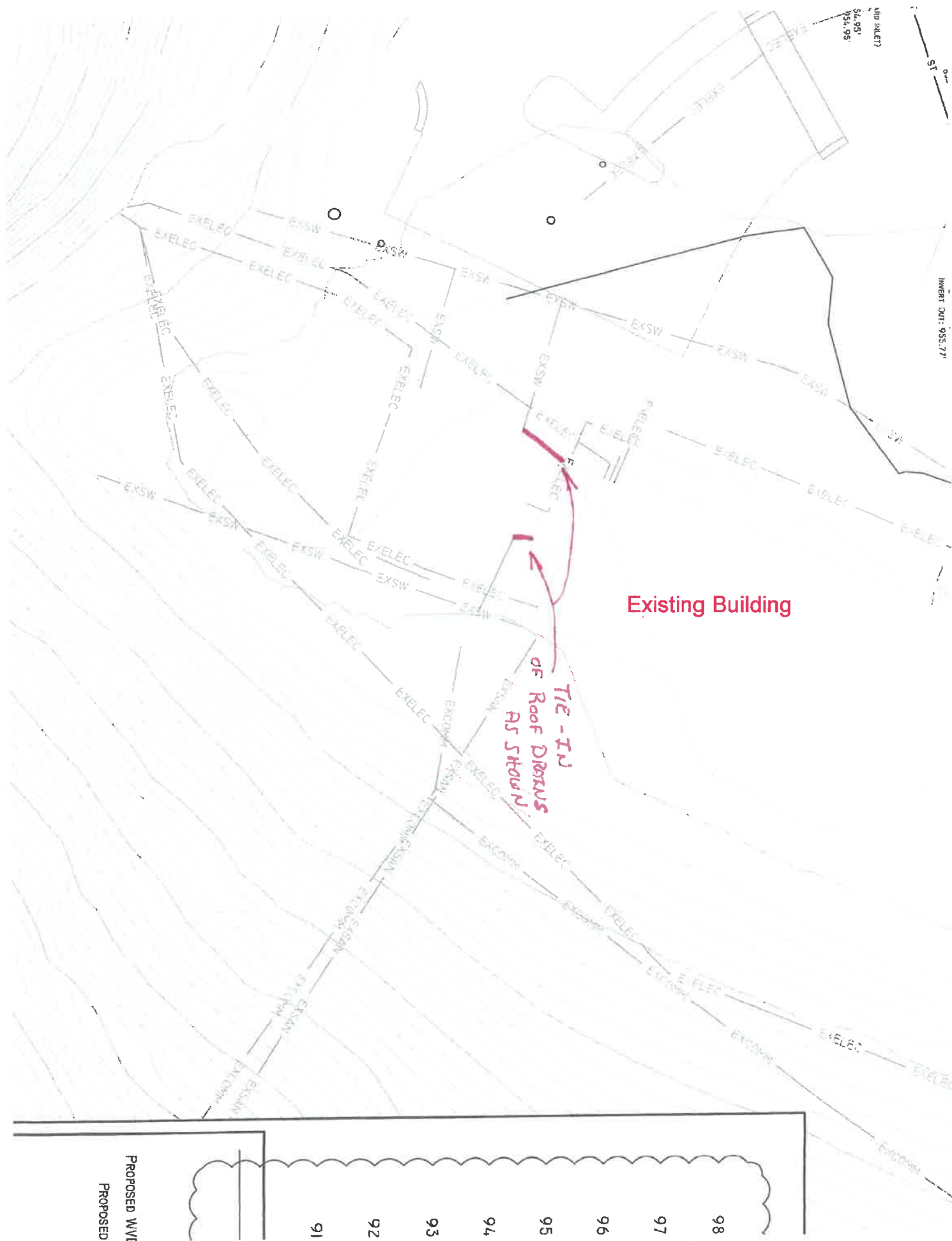
Total	\$	4,917.00
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Material -Stone Pipe & Fittings	\$ 2,012.00
Labor & Equipment	\$ 2,905.00

See attached sketch for proposed scope of work.

Scupper downspouts will tie to UG storm and be tied to existing storm system.

Gantt's Excavating Contracting, Inc.
 PO Box 974
 Martinsburg, WV 25402
 304-229-6515





Request for Information

Date: 12/8/2020

RFI # 251

To: Paradigm Architecture
2223 Cheat Rd – Suite 300
Morgantown, WV 26508

Cacapon Lodge Additions & Alterations
Paramount Job# 181
Paradigm Job# 1732

RE: Existing Lodge – South Patio Details

SUBJECT:

Please reference the attached sketch below for details.

Due to an elevation discrepancy with the finished floor of the existing lodge as it relates to the precast stair and slab below. Paramount is requesting to deviate from the detail shown on drawing 1F/A7.03 so that the precast cap will overlap the roof pavers. With the changes to the patio drainage plan (i.e. RFI #241), the paver elevations will now have to be revised to accommodate the scupper drains in lieu of tapered insulation to roof drains. This in turn affects the elevations of the precast stairs, finished floor at doorway, roof pavers, and cast stone cap. If the detail below is approved, then the elevation discrepancies could be resolved.

Please confirm.

Additional question: As a follow up to RFI #241, please provide details and locations for the added scupper drains, down spouts and clarify how the new French drain system should be installed to coordinate with this. Please provide details on roof drainage for these scupper drains.

See attached DWGs

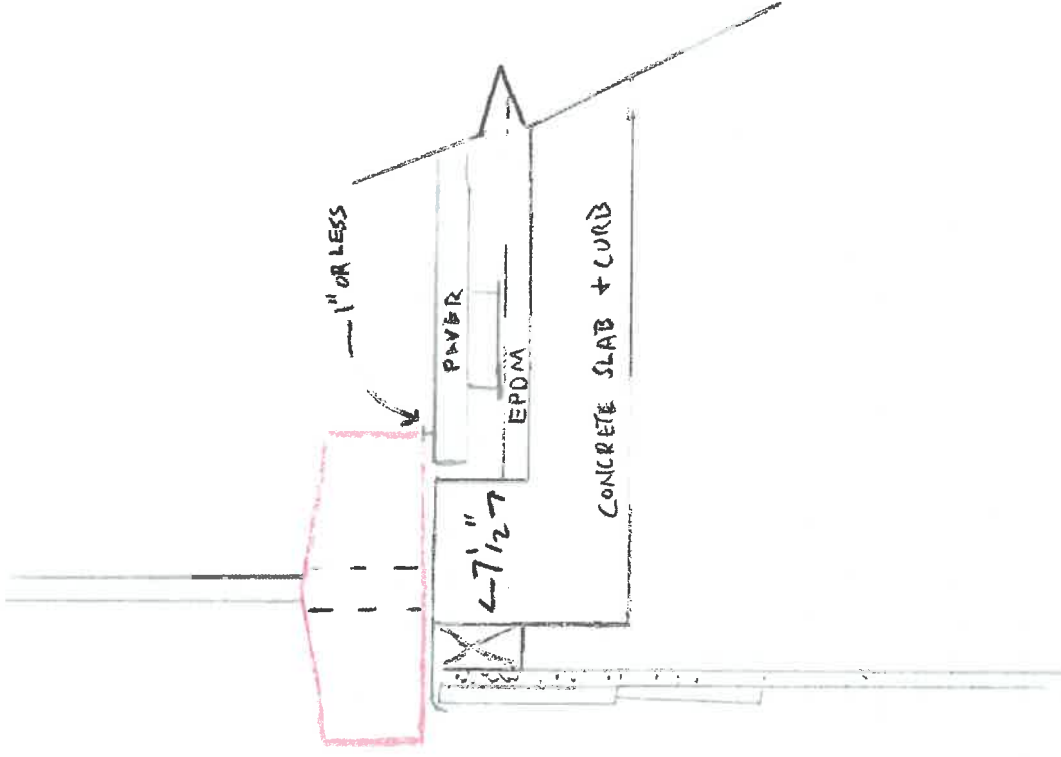
Thank You

Kenny Harper

Steve Konya II
1/21/21

Paramount Builders, LLC
PO Box 1370
St. Albans WV 25177
P - 304-727-2770
F - 304-727-0302

APPROVED





REVISIONS
1. 12.2021 South Stair
2. 01.2022 Staircase

**Cacapon Lodge
Additions and
Alterations**
818 Cacapon Lodge
Drive Berkeley
Springs, WV

job number: 1732
date: 5.20.2018

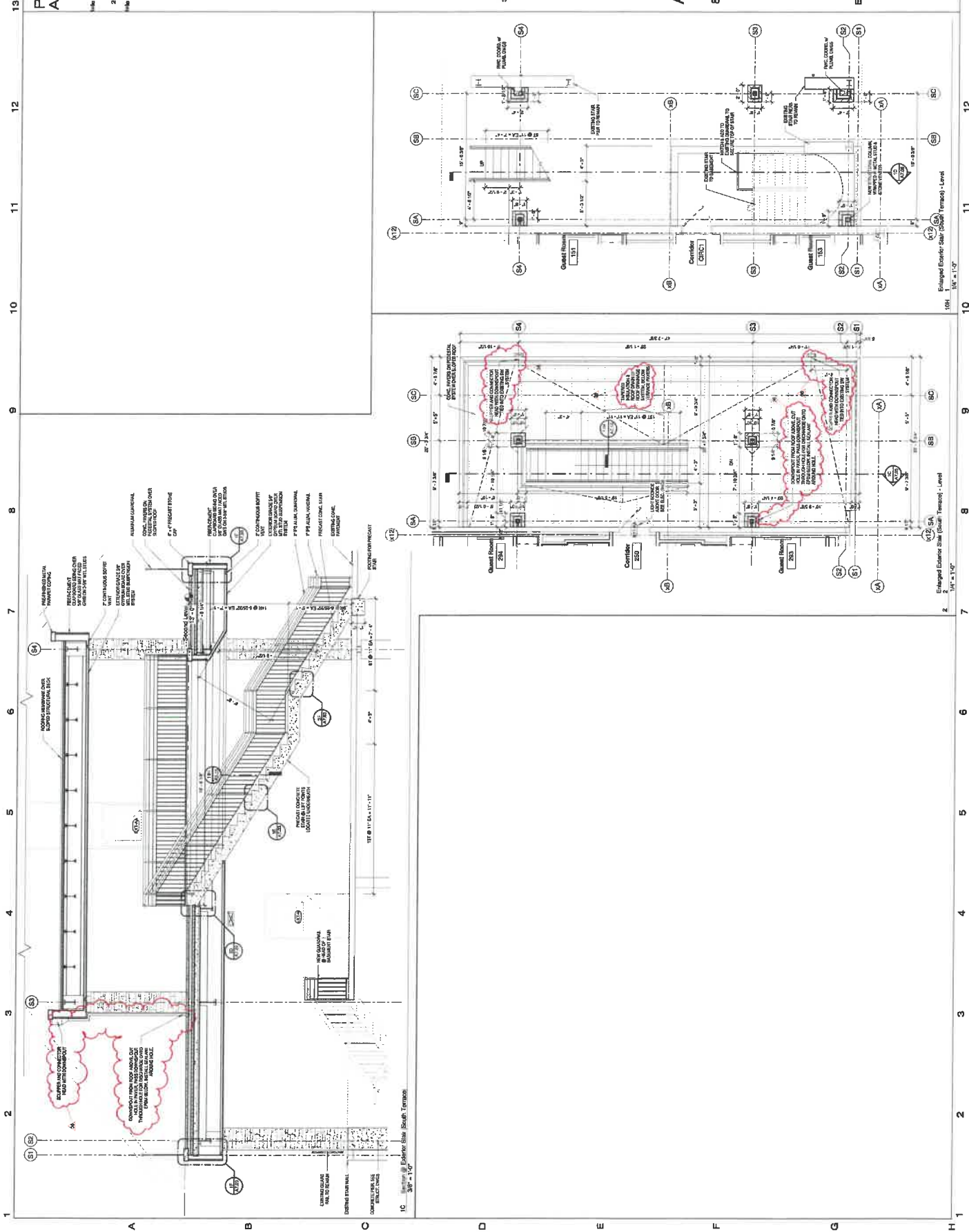
sheet title:

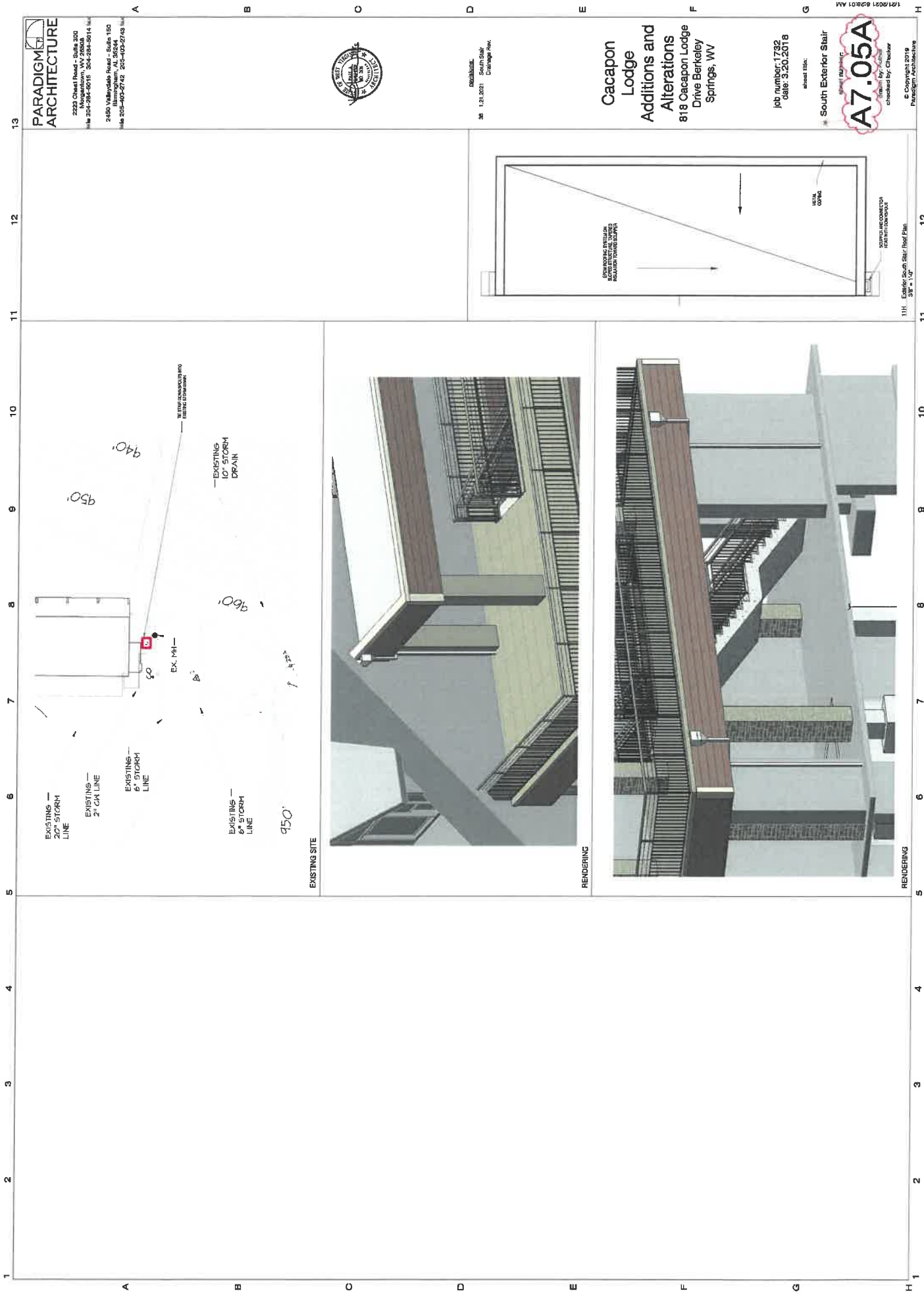
**Enlarged Exterior Stair
(South Terrace)**

sheet number:
A7.05

checked by: JAW
checked by: PAW

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Paradigm Architecture





PARADIGM
ARCHITECTURE
2223 Chestnut Road - Suite 200
Morgantown, WV 26508
Tel: 202-254-0070 Fax: 202-254-0014
2450 Valleydale Road - Suite 100
Birmingham, AL 35244
Tel: 205-405-2742 Fax: 205-405-2743



PROJECT
36 1.2.1 2021 South Stair
Cacapon Lodge

Cacapon Lodge
Additions and
Alterations
818 Cacapon Lodge
Drive Berkeley
Springs, WV

job number: 1732
date: 3.20.2018
sheet title:

A7.05A
South Exterior Stair
Drawn by: [Name]
Checked by: [Name]

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Paradigm Architecture

11H. Cacapon South Stair Roof Plan
3/8" = 1'-0"



Request for Information

Date: 11/19/2020

RFI # 241

To: Paradigm Architecture
2223 Cheat Rd – Suite 300
Morgantown, WV 26508

Cacapon Lodge Additions & Alterations
Paramount Job# 181
Paradigm Job# 1732

RE: South Patio (Existing Lodge) – Roof Drains

SUBJECT:

This RFI should void the previously submitted RFI #234

Please see attached drawings P2.57 and C3.0.

Drawing P2.57 calls for the Existing Lodge South Patio Roof Drains to "Extend to daylight in ravine, 4'x20'-6" rip rap down ravine bank at discharge to prevent erosion." There is no reference for this civil work on drawing C3.0.

Please provide material details, location, and elevations required for installation of the stormwater riprap for the Existing Lodge South Patio Roof Drains.

Per a phone conversation with Craig Miller (MEI) on 11/19, the tentative solution for the roof drains on the south patio would be to match the installation of scuppers and downspouts as performed on the north patio (See RFI #112).

On the south end of the building we have recently discovered unsuitable (extremely saturated) soils. From our review of the area it appears to lack inadequate storm drainage in this area. Paramount believes a drainage system is needed in this area to control the storm/ground water. If a drainage system is installed in this area then the scupper downspouts could dump onto a splash pad and drain in the soil area adjacent to the building.

Please advise on how we are to proceed.

Thank You

Kenny Harper

Install scupper downspouts to dump onto a splash pad. Install French Drain from splash pad to daylight. French Drain install 6" SDR35 perforated pipe surrounded by 18" x 18" #57 stone.

Paramount Builders, LLC
PO Box 1370
St. Albans WV 25177
P - 304-727-2770
F - 304-727-0302



www.paramountwv.com

Paramount Builders LLC
501 6TH Avenue
Post Office Box 1370
St. Albans, West Virginia 25177
WV License #032815

304.727.2770 voice
304.727.0302 fax

July 27, 2021

Bradley S. Leslie, PE
Chief Engineer
WV Department of Natural Resources
324 4th Ave.
South Charleston, WV 25303

**RE: Cacapon Lodge Additions / Alterations
COP 145 – Exterior Door Change - REVISED
Time Extension**

Mr. Leslie,

This letter is a follow up to the Change Order Proposal 145 – Time Extension, dated July 20, 2021, related to the exterior doors of COP 84 for the above referenced project.

We have just been notified through our vendor (Contract Hardware) after follow-up with the manufacturer's representative the doors are not going to be shipped today, but rather the manufacturer's representative expects them to be completed at the end of this week with an anticipated Monday, August 2, 2021 ship date.

Thus, Paramount Builders (PB) is requesting a REVISED time extension to the contract related to the manufacturer's delay. The delay by the manufacturer is out of the control of the Contractor, and the Contractor does not feel they should be penalized because of such delay. A time extension of 70 calendar days (September 10, 2021) is being request due to this event.

For your convenience, please find the below (REVISED) timeline of events related to this change. Under normal circumstances, ten (10) weeks for fabrication and delivery would be expected.

- COP 84 Submitted (1st): 9/30/20
- COP 84 Revised and Submitted (2nd): 12/6/20
- COP 84 Revised and Submitted (3rd): 2/3/21
- Change Order 09 (included COP 84) Issued: 2/22/21
- Change Order 09 (including COP 84) Signed by Paramount: 2/24/21
- Change Order issue to Vendor (Contract Hardware): 3/2/21
- Change Order signed and returned by Vendor: 3/12/21

Unique From The Ground Up!

- Exterior Doors order released by Vendor and acknowledged by Manufacturer: 3/25/21
- Anticipated Ship Date from Manufacturer: 6/4/21
- Revised (1st) Ship Date from Manufacturer: 6/24/21
- Notification from manufacturer's representative of a revised fabrication and shipping – 7/26/21
- Revised (2nd) Ship Date from Manufacturer: **8/2/21 – REVISED from 7/26/21**
- **Anticipated Shipping and Delivery Delays: 8/2/21 – 8/24/21**
- **Anticipated Door Delivery: 8/24/21 (pending delivery confirmation)**
- **Door Unloading and Installation: 9/10/21**

Again, we are proceeding the best we can under the current environment we live in. We understand all State agencies are dealing with similar issues and have worked with the Contractors to provide the relief against material delays.

If you should have any questions, please feel free to contact me.

Paramount Builders Inc.



C. Travis Arey
Senior Project Manager

Cc: Mr. Steve Konya & Ms. Sheryl Snider – Paradigm Architecture
Mr. Derick Foster – Paramount Builder Inc.

Enclosures:

STATE OF WEST VIRGINIA
Purchasing Division
PURCHASING AFFIDAVIT

CONSTRUCTION CONTRACTS: Under W. Va. Code § 5-22-1(i), the contracting public entity shall not award a construction contract to any bidder that is known to be in default on any monetary obligation owed to the state or a political subdivision of the state, including, but not limited to, obligations related to payroll taxes, property taxes, sales and use taxes, fire service fees, or other fines or fees.

ALL CONTRACTS: Under W. Va. Code §5A-3-10a, no contract or renewal of any contract may be awarded by the state or any of its political subdivisions to any vendor or prospective vendor when the vendor or prospective vendor or a related party to the vendor or prospective vendor is a debtor and: (1) the debt owed is an amount greater than one thousand dollars in the aggregate; or (2) the debtor is in employer default.

EXCEPTION: The prohibition listed above does not apply where a vendor has contested any tax administered pursuant to chapter eleven of the W. Va. Code, workers' compensation premium, permit fee or environmental fee or assessment and the matter has not become final or where the vendor has entered into a payment plan or agreement and the vendor is not in default of any of the provisions of such plan or agreement.

DEFINITIONS:

"Debt" means any assessment, premium, penalty, fine, tax or other amount of money owed to the state or any of its political subdivisions because of a judgment, fine, permit violation, license assessment, defaulted workers' compensation premium, penalty or other assessment presently delinquent or due and required to be paid to the state or any of its political subdivisions, including any interest or additional penalties accrued thereon.

"Employer default" means having an outstanding balance or liability to the old fund or to the uninsured employers' fund or being in policy default, as defined in W. Va. Code § 23-2c-2, failure to maintain mandatory workers' compensation coverage, or failure to fully meet its obligations as a workers' compensation self-insured employer. An employer is not in employer default if it has entered into a repayment agreement with the Insurance Commissioner and remains in compliance with the obligations under the repayment agreement.

"Related party" means a party, whether an individual, corporation, partnership, association, limited liability company or any other form or business association or other entity whatsoever, related to any vendor by blood, marriage, ownership or contract through which the party has a relationship of ownership or other interest with the vendor so that the party will actually or by effect receive or control a portion of the benefit, profit or other consideration from performance of a vendor contract with the party receiving an amount that meets or exceeds five percent of the total contract amount.

AFFIRMATION: By signing this form, the vendor's authorized signer affirms and acknowledges under penalty of law for false swearing (W. Va. Code §61-5-3) that: (1) for construction contracts, the vendor is not in default on any monetary obligation owed to the state or a political subdivision of the state, and (2) for all other contracts, that neither vendor nor any related party owe a debt as defined above and that neither vendor nor any related party are in employer default as defined above, unless the debt or employer default is permitted under the exception above.

WITNESS THE FOLLOWING SIGNATURE:

Vendor's Name: Paramount Builders, LLC.

Authorized Signature: _____

Date: October 29, 2021

State of West Virginia

County of Kanawha, to-wit:

Taken, subscribed, and sworn to before me this 29 day of October, 2021.

My Commission expires June 06, 2023.

AFFIX SEAL HERE



NOTARY PUBLIC

Ryan A. Bailey

Purchasing Affidavit (Revised 01/19/2018)

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West Virginia Secretary of State — Online Data Services

Business and Licensing

Online Data Services Help

Business Organization Detail

NOTICE: The West Virginia Secretary of State's Office makes every reasonable effort to ensure the accuracy of information. However, we make no representation or warranty as to the correctness or completeness of the information. If information is missing from this page, it is not in the The West Virginia Secretary of State's database.

PARAMOUNT BUILDERS, LLC

Organization Information								
Org Type	Effective Date	Established Date	Filing Date	Charter	Class	Sec Type	Termination Date	Termination Reason
LLC Limited Liability Company	12/22/2000		12/22/2000	Domestic	Profit		12/31/2050	

Organization Information			
Business Purpose	2362 - Construction - Construction of Buildings - Nonresidential Building Construction (industrial, commercial & institutional building)		
Capital Stock			
Charter County	Kanawha	Control Number	37513
Charter State	WV	Excess Acres	
At Will Term	T	Member Managed	MGR
At Will Term Years	50	Par Value	
Authorized Shares		Young Entrepreneur	Not Specified

Addresses

Type	Address
Designated Office Address	501 6TH AVENUE SAINT ALBANS, WV, 25177
Mailing Address	P O BOX 1370 ST. ALBANS, WV, 25177 USA
Notice of Process Address	STEVEN M CARR 501 6TH AVENUE SAINT ALBANS, WV, 25177
Principal Office Address	PO BOX 1370 SAINT ALBANS, WV, 25177 USA
Type	Address

Officers

Type	Name/Address
Manager	ROBERT O. ORDERS JR. 505 6TH AVENUE SAINT ALBANS, WV, 25177
Manager	NATHANIEL ORDERS & DERICK FOSTER 505 6TH AVENUE SAINT ALBANS, WV, 25177
Organizer	ROBERT G. TWEEL P O BX 553 CHARLESTON, WV, 25322 USA
Type	Name/Address

Name Changes

Date	Old Name
10/23/2006	FOUNDATION SPECIALISTS, LLC
Date	Old Name

Date	Amendment
10/23/2006	NAME CHANGE: FROM FOUNDATION SPECIALISTS, LLC AND RESTATED ARTICLES
Date	Amendment

Annual Reports

Filed For

2021

2020

2019

2018

2017

2016

2015

2014

2013

2012

2011

2010

2009

2008

2007

2006

2005

2004

2003

2002

2001

Date filed

For more information, please contact the Secretary of State's Office at 304-558-8000.

Monday, December 13, 2021 — 9:41 AM

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